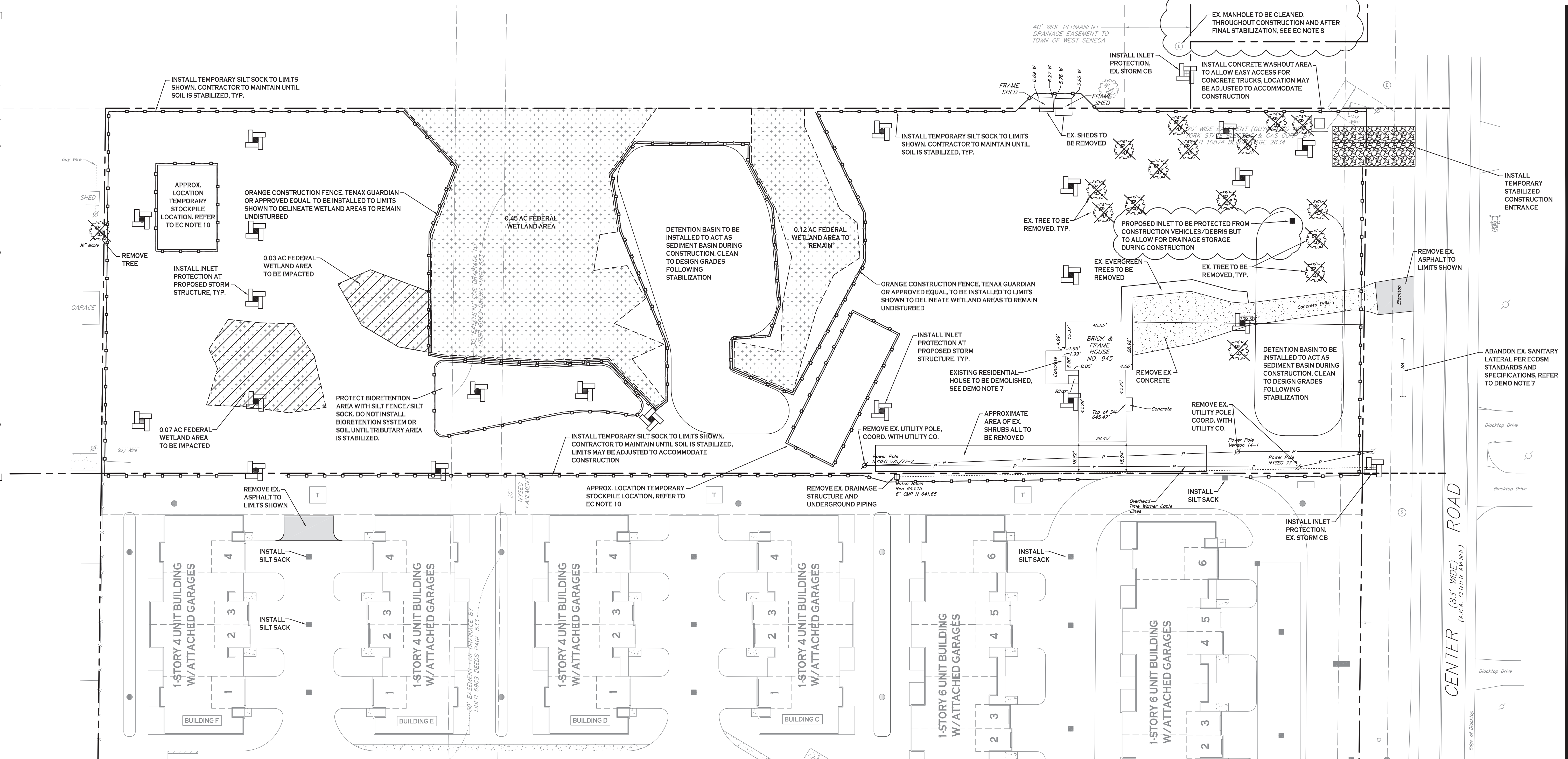


All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 7202N and 7301 of the New York State education law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC



EROSION CONTROL NOTES

THE FOLLOWING EROSION CONTROL PROCEDURES SHALL BE ADHERED TO BY THE CONTRACTOR:

- INSTALL TEMPORARY SILT SOCK BARRIERS AS DIRECTED BY THE OWNER AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR REUSE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE OF TOPSOIL MUST BE FOLLOWED. TOPSOIL MAY NOT BE REMOVED WITHOUT A PERMIT.
- ALL SILT SOCK BARRIERS SHALL BE REPLACED WHEREVER THEY BECOME CLOGGED OR INOPERABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
- THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND SPREAD WATER AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
- DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
- ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES, AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN/CITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION, AS DIRECTED BY THE ENGINEER.
- INSTALL TEMPORARY SILT SOCK AROUND THE BASE OF STOCKPILES.
- THE PROFESSIONAL CERTIFYING COMPLIANCE TO NYSDEC PHASE II STORMWATER REGULATION REQUIREMENTS MUST INSPECT AT A MINIMUM WEEKLY AND SHALL PROVIDE THESE INSPECTION REPORT WITH A WRITTEN CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE TOWN OF WEST SENECA WEEKLY.
- THE ENGINEER OF RECORD FOR THIS PROJECT CERTIFIES THAT THESE DESIGN PLANS MEET THE REQUIREMENTS AND ARE IN COMPLIANCE WITH THE NEW YORK STORMWATER MANAGEMENT DESIGN MANUAL AND NYSDEC PHASE II STORMWATER REGULATION REQUIREMENTS.

DEMOLITION NOTES:

- ALL PERIMETER SILT SOCK TO BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITY BEGINNING.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT THOSE ITEMS TO REMAIN, SUCH AS TREES, PROPERTY CORNER PINS, UTILITY POLES, VALVES, HYDRANTS, CURBS, MANHOLES AND CATCH BASINS.
- TEMPORARY SILT SOCK AND STRAW BALES TO BE INSTALLED AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE. MAINTAIN UNTIL VEGETATION IS ESTABLISHED AND PAVEMENT IS INSTALLED.
- CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCES WHERE ACCESSING THE SITE FROM PAVED ROADWAYS. STORM DRAINAGE INLETS THAT INTERFERE WITH CONSTRUCTION ENTRANCE TO BE PROTECTED WITH SILT SACK AND OTHER PROPER TEMPORARY INLET PROTECTION MEASURES.
- CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH NYS M.U.T.C.D. STANDARDS PRIOR TO STARTING WORK.
- COVERED DUMPSTERS SHALL BE PROVIDED ONSITE AS REQUIRED FOR CONSTRUCTION WASTE.
- REMOVE ALL TREES AND STUMPS AS SHOWN AND DISPOSE OF OFF SITE. CONTRACTOR TO PROTECT ALL TREES/BRUSH NOT DISTURBED BY CONSTRUCTION ACTIVITY. LOCATIONS OF TREES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO CONFIRM LOCATION PRIOR TO CONSTRUCTION.
- REMOVE EXISTING HOUSE TO INCLUDE ALL FOUNDATIONS, CONCRETE SIDEWALKS & PADS, STEPS, ETC. ALL UTILITY CONNECTIONS TO BE ABANDONED AND/OR REMOVED PER COUNTY, TOWN, AND UTILITY COMPANY REQUIREMENTS. BACKFILL ANY FOUNDATIONS REMOVED AS NEEDED.



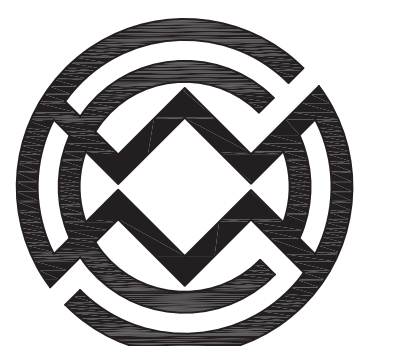
DEMOLITION & EROSION CONTROL PLAN

SCALE: 1"=30'

DEMOLITION & EROSION CONTROL LEGEND

- EXISTING PAVEMENT TO BE SAWCUT & REMOVED
- PROPOSED SILT SOCK
- EXISTING TREE TO BE REMOVED
- PROPOSED STORM INLET PROTECTION

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris DPC
 487 Main Street Suite 500
 Buffalo, New York 14203
 P 716.842.3165
 F 716.842.0263



REVISIONS:

No.	Description	Date
1	Revised per Town comments & ex. trees added	2/10/21
2	Revised per Town comments	2/23/21

PROJECT NAME:
New Construction

Park Lane Villas North - Phase 2
 945 & 965 Center Road
 West Seneca, New York

Date: 1/11/21
 Drawn by: P. Sheedy
 Scale: As Noted

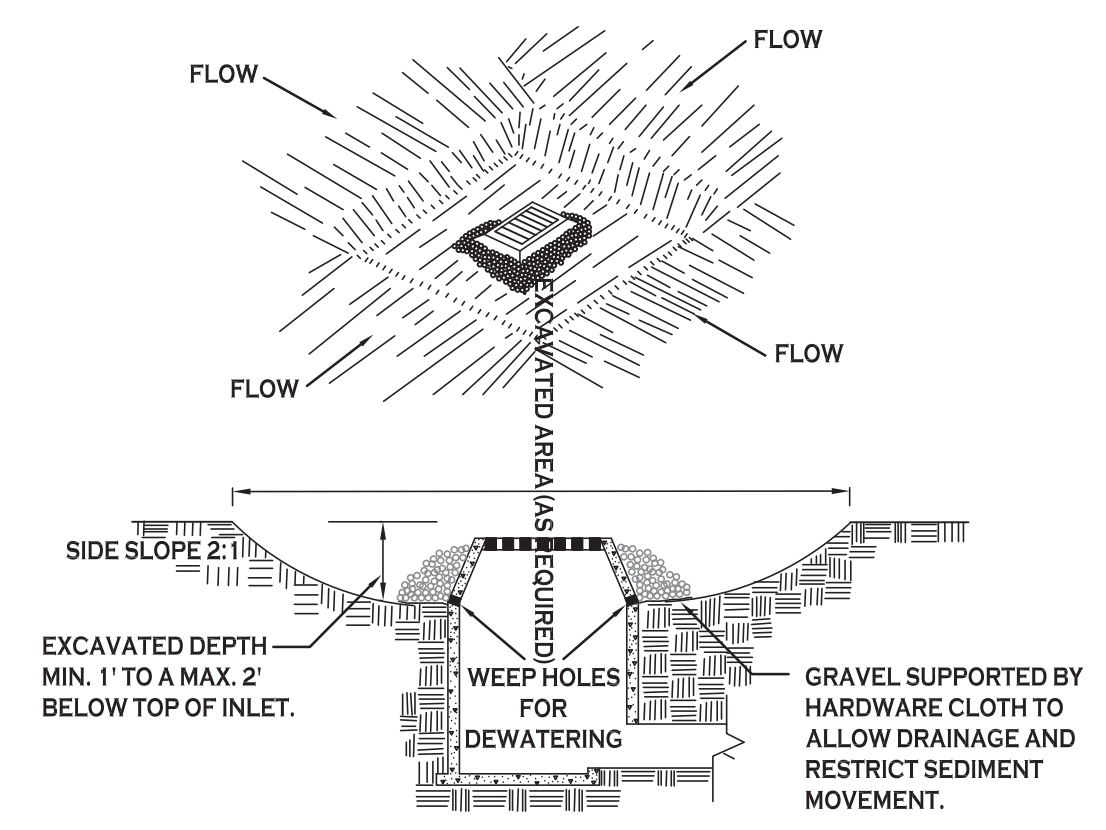
DRAWING NAME:
Demolition & Erosion Control Plan

DRAWING NO.
C-001

Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 7209N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC

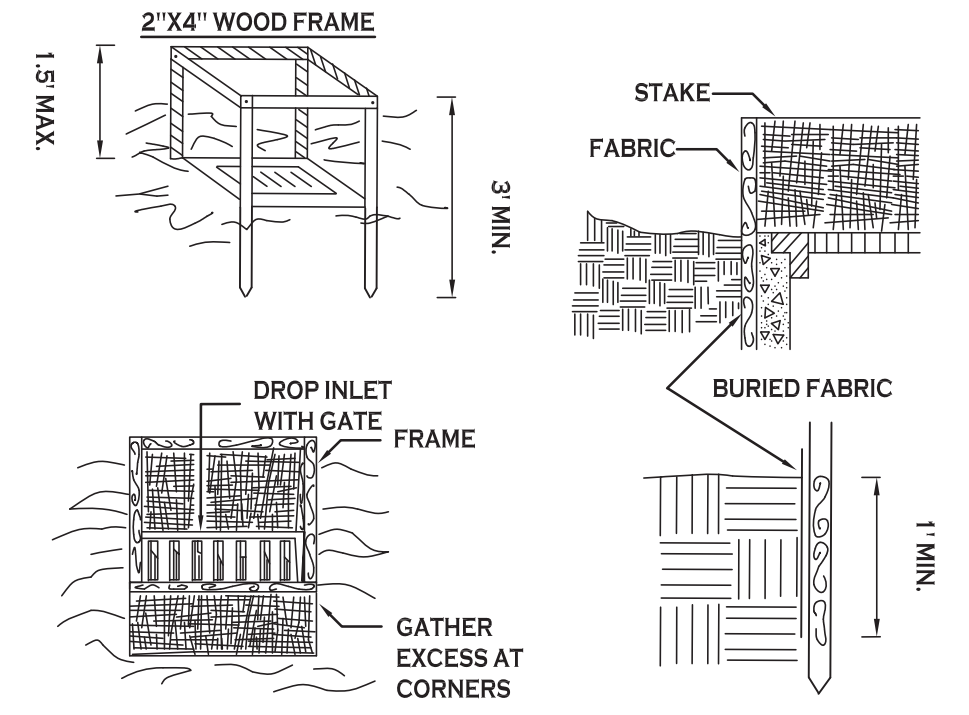


CONSTRUCTION SPECIFICATIONS

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 1
NOT TO SCALE

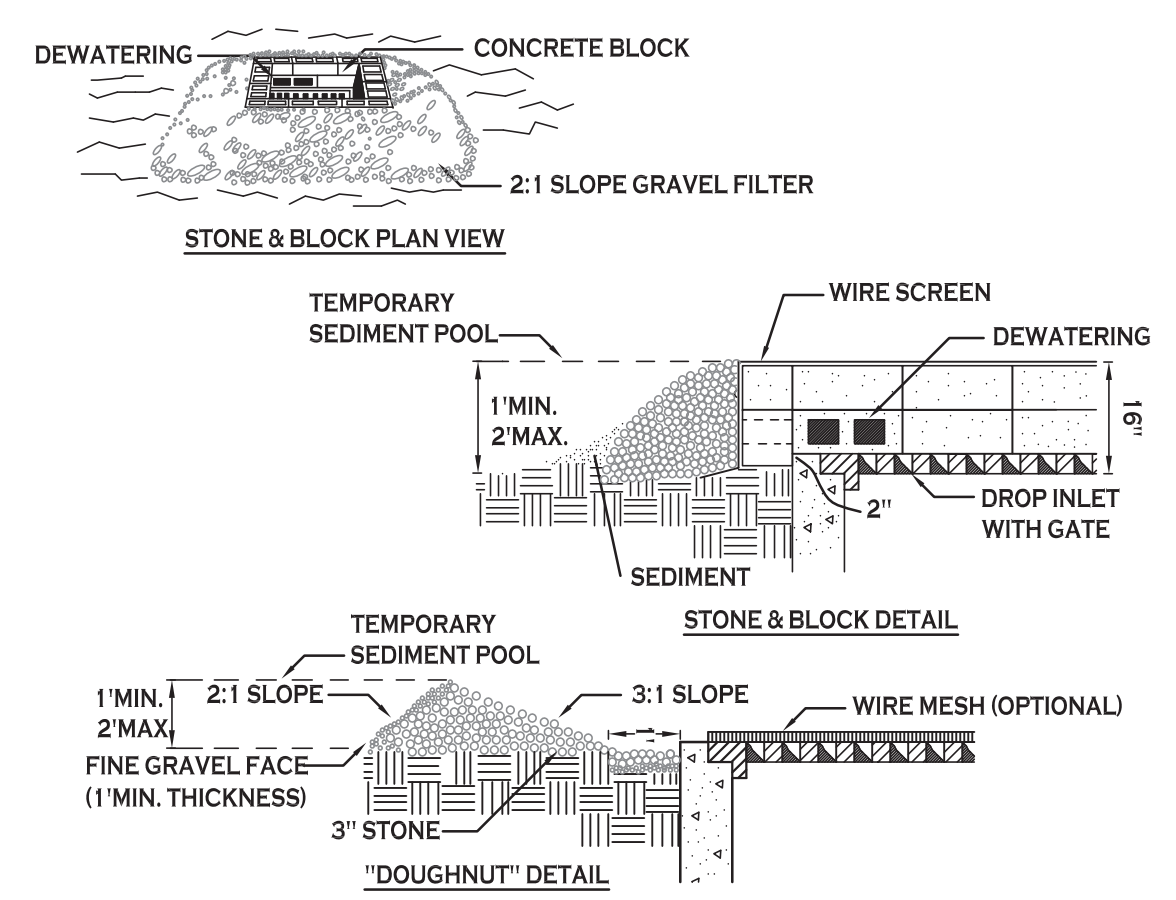


CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 2
NOT TO SCALE



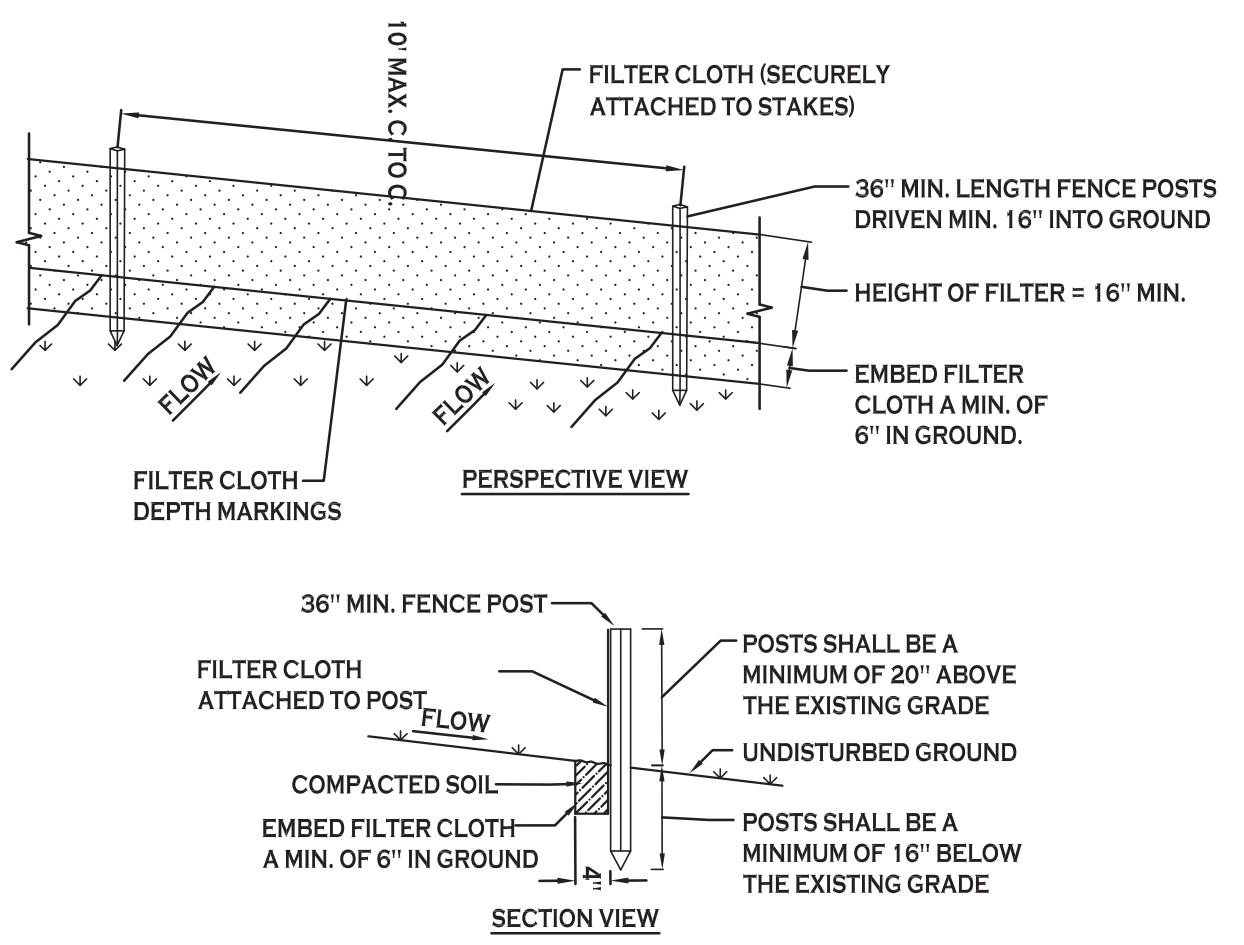
CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/23/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 3
NOT TO SCALE

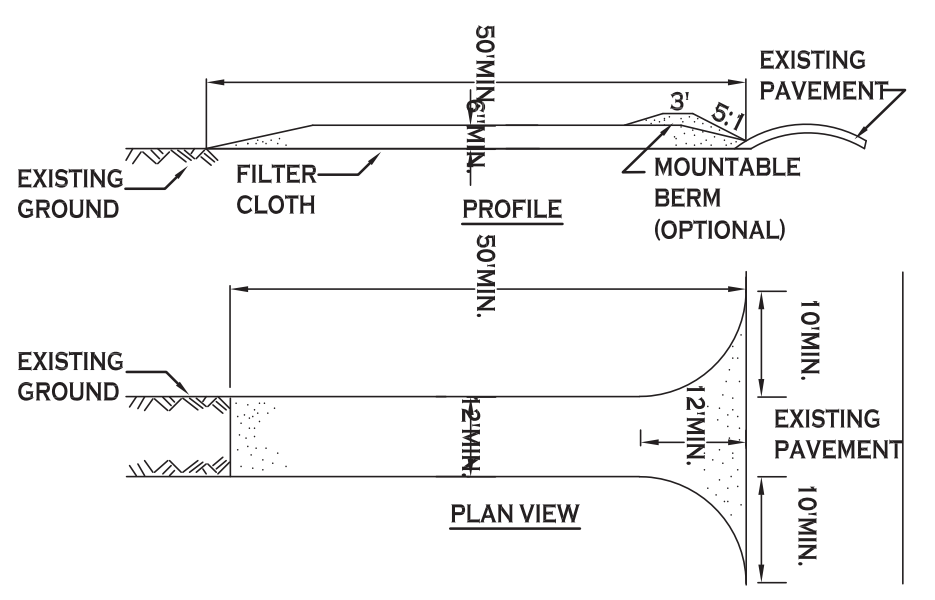
NOTE: INSTALL ONE OF THE INLET PROTECTION OPTIONS SHOWN PRIOR TO CONSTRUCTION



CONSTRUCTION SPECIFICATIONS

- WOVEN FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

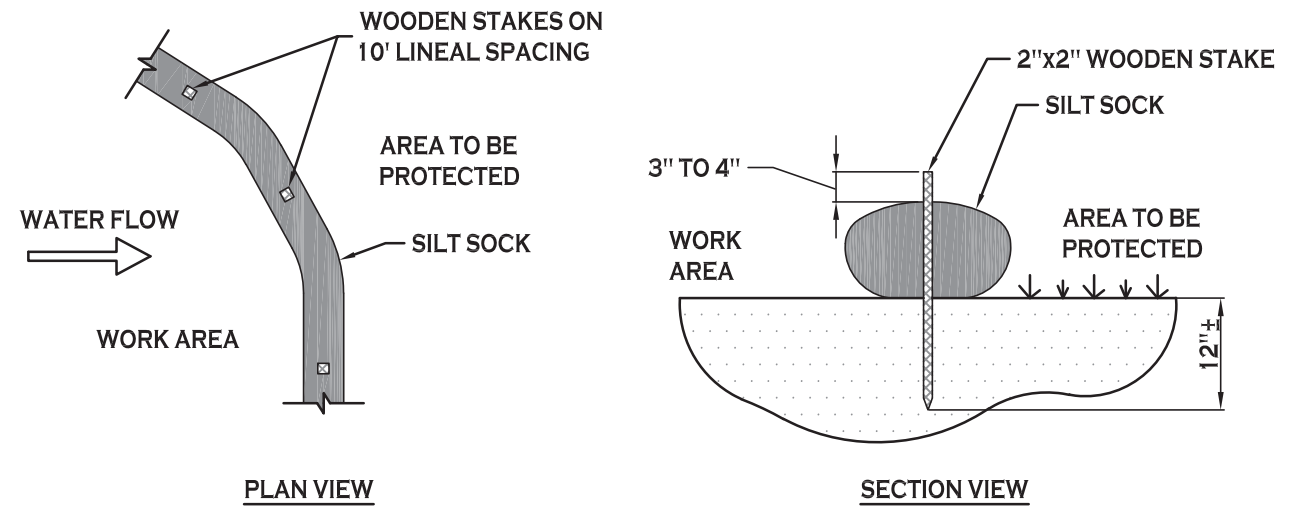
SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

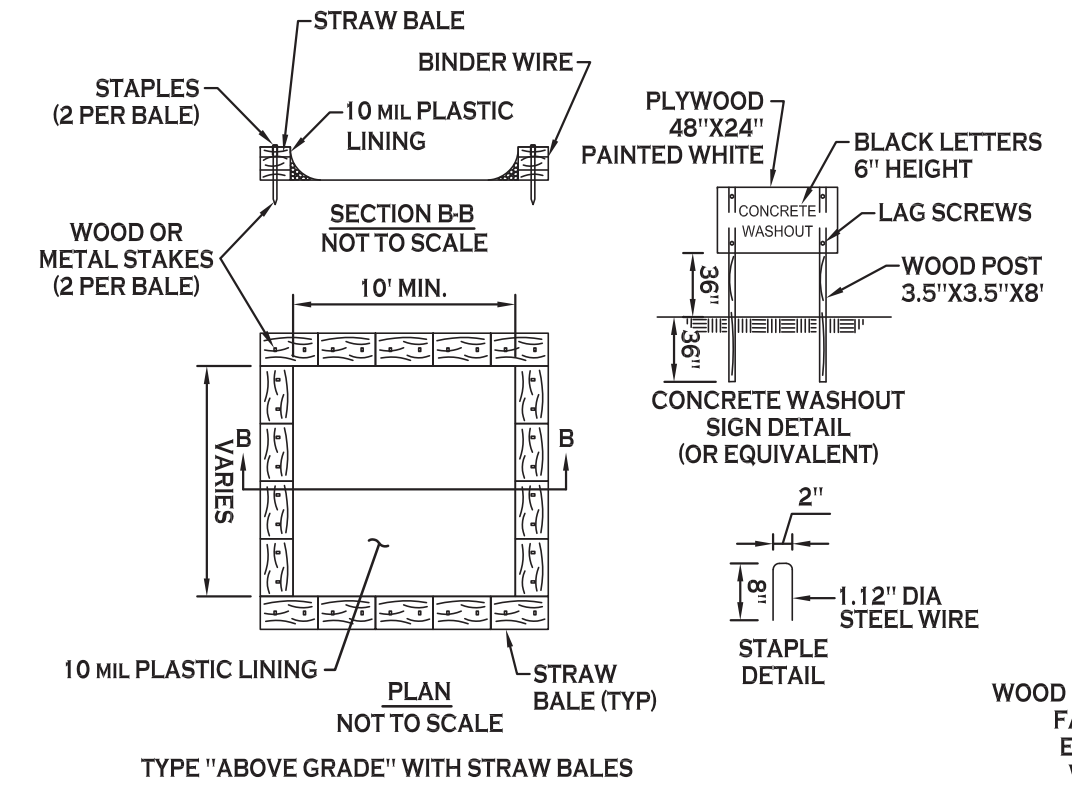


NOTES:

CONTRACTOR SHALL INSPECT AND MAINTAIN SILT SOCK AS NEEDED DURING THE DURATION OF CONSTRUCTION PROJECT.

CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK WHEN IT HAS REACHED 1/2 OF THE EXPOSED HEIGHT OF THE SILT SOCK. ALTERNATIVELY, RATHER THAN CREATE A SOIL DISTURBING ACTIVITY, THE ENGINEER MAY CALL FOR ADDITIONAL SILT SOCK TO BE ADDED AT AREAS OF HIGH SEDIMENTATION, PLACED IMMEDIATELY ON TOP OF THE EXISTING SEDIMENT LADEN SILT SOCK.

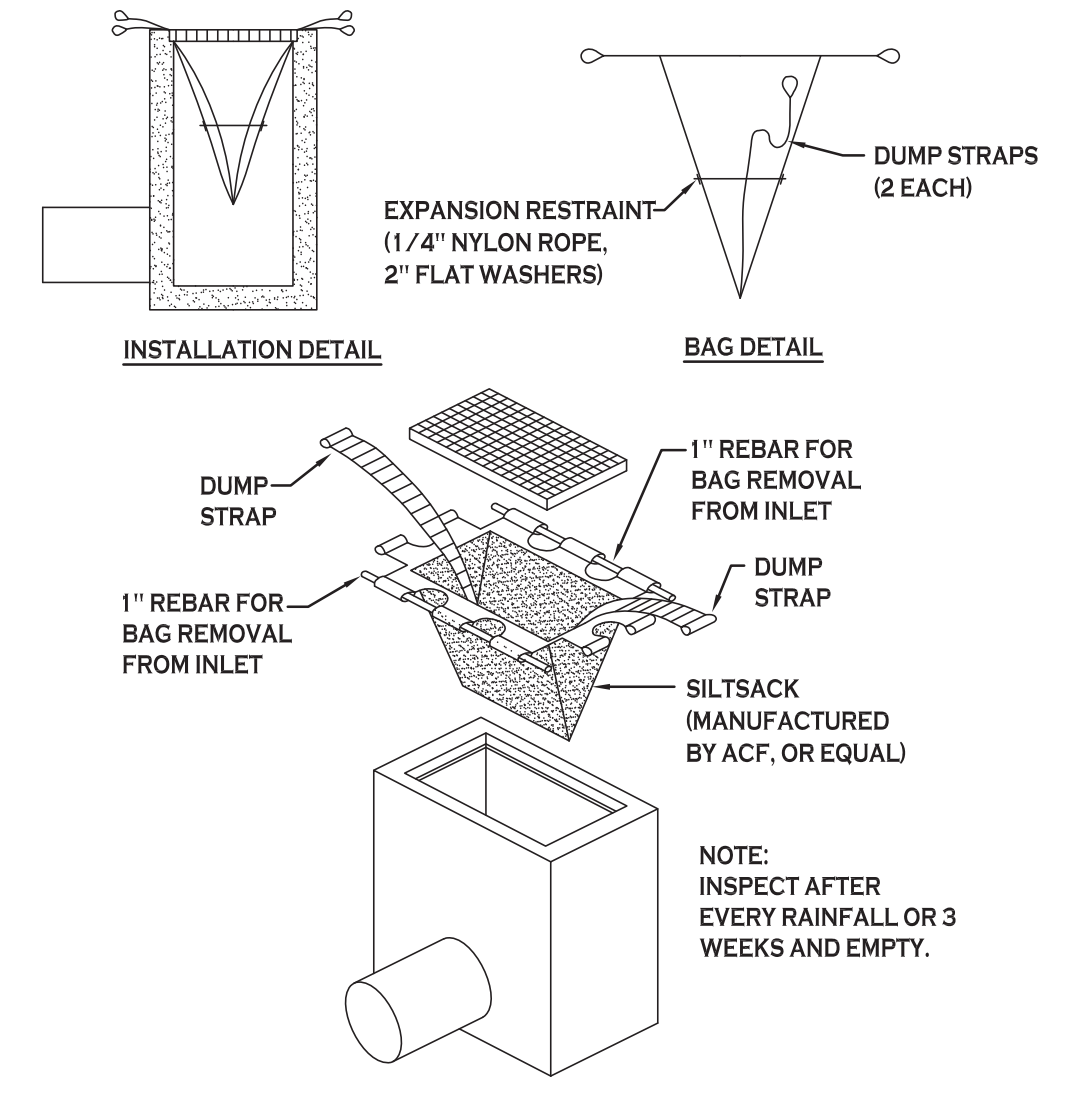
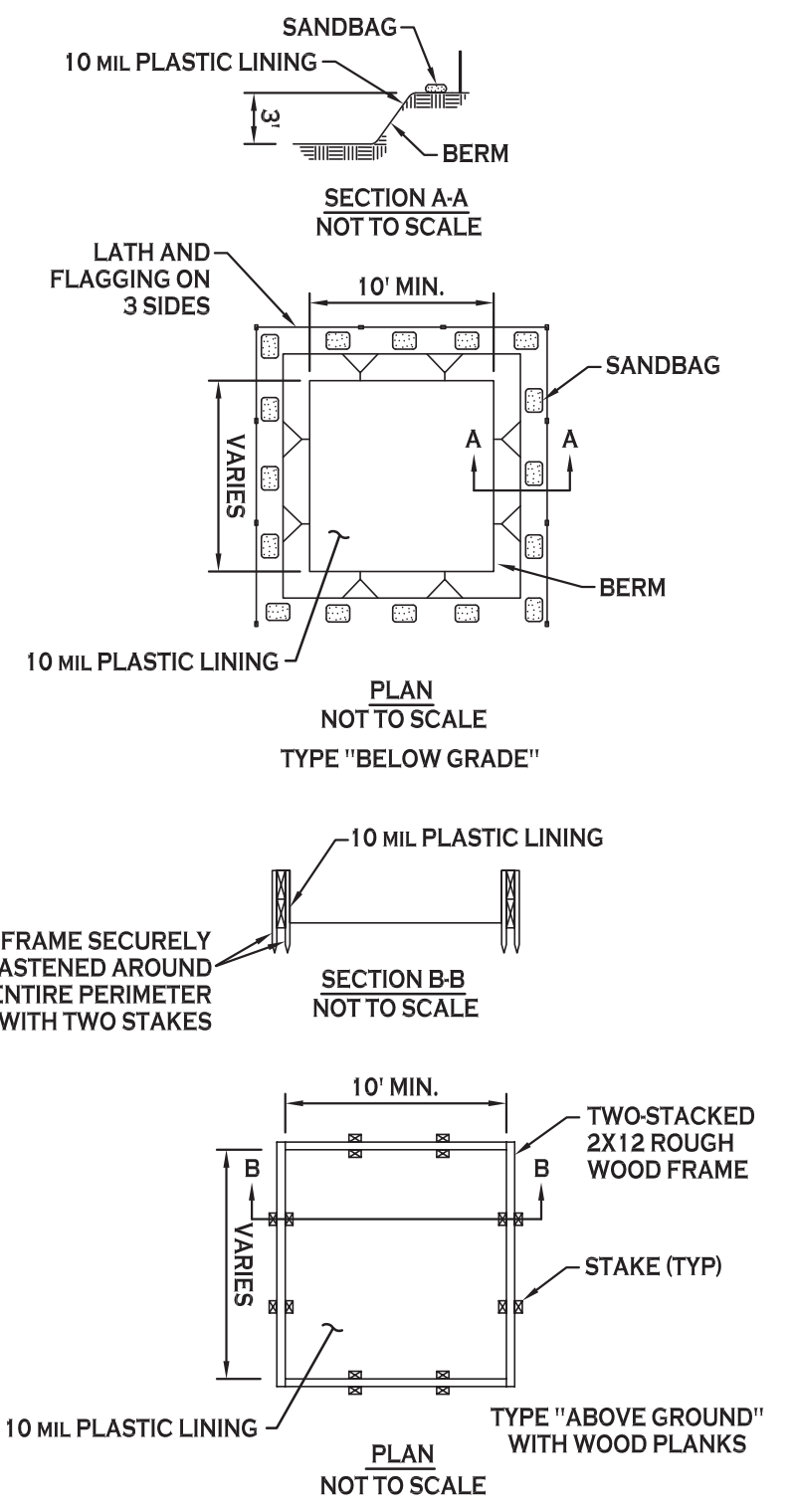
SILT SOCK DETAIL
NOT TO SCALE



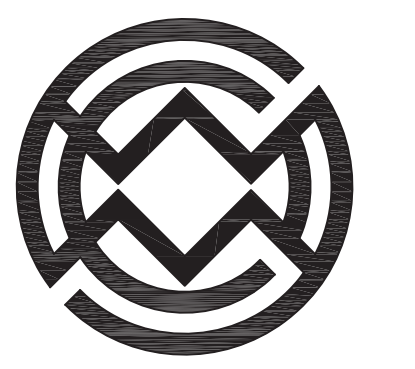
NOTES

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



SILT SACK DETAIL
NOT TO SCALE



Carmina Wood Morris DPC
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS: No. Description Date

PROJECT NAME: **New Construction**
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Demolition & Erosion Control Details

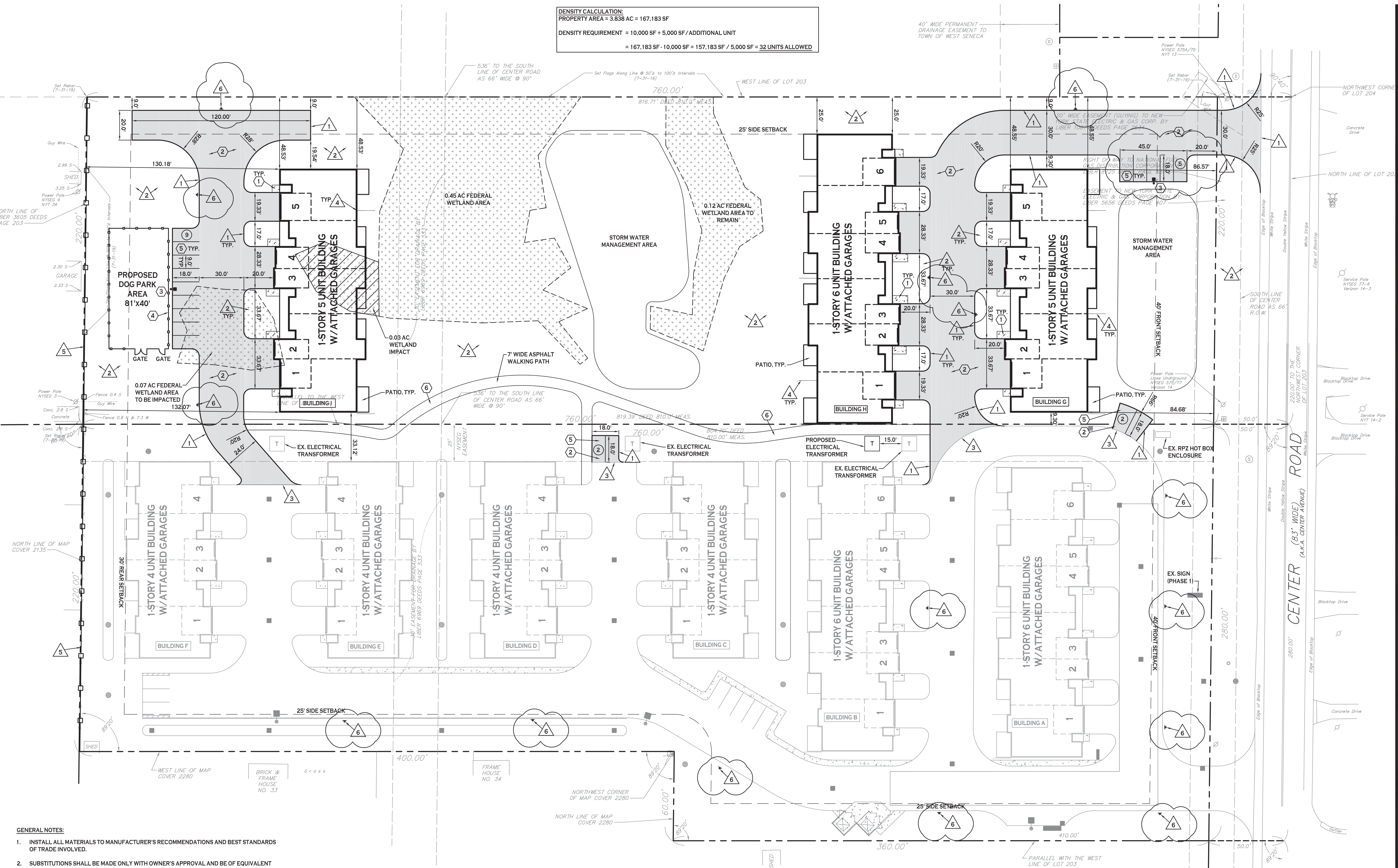
DRAWING NO.
C-002

Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 2202N and 2301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

Carmina Wood Morris DPC

DENSITY CALCULATION:
 PROPERTY AREA = 3.838 AC = 167,183 SF
 DENSITY REQUIREMENT = 10,000 SF + 5,000 SF/ADDITIONAL UNIT
 = 167,183 SF - 10,000 SF = 157,183 SF / 5,000 SF = 32 UNITS ALLOWED



- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
 - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 - ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF WEST SENECA ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.

- SITE NOTES:**
- ALL RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
 - ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
 - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
 - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
 - BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

SITE DATA (R60A ZONING)

MULTI-FAMILY ALLOWED BY SPECIAL PERMIT

MIN. LOT WIDTH = 60 FT FOR FIRST DWELLING UNIT, PLUS 10 FT FOR EACH ADDITIONAL UNIT NEED NOT EXCEED 100 FT

MIN. LOT AREA = 10,000 SF FOR FIRST DWELLING UNIT, PLUS 5,000 FOR EACH ADDITIONAL DWELLING UNIT

FRONT SETBACK = 40 FT
 SIDE SETBACK = 25 FT MIN. OR A DISTANCE EQUAL TO 1/2 HGT. OF SUCH BUILDING, WHICHEVER IS GREATER
 REAR SETBACK = 30 FT

MAXIMUM BUILDING HEIGHT = 40 FT (MULTI-FAMILY)

DRIVEWAY: 30 FT WIDE REQUIRED FOR MULTI-FAMILY

DWELLING SIZE: 500 SF EACH MULTI-FAMILY UNIT

SITE DATA (R60A ZONING)

PROPOSED UNITS: 16 UNITS

PROPOSED PARKING: 32 SPACES

GARAGE SPACES: 16 GARAGES

SITE PLAN

SCALE: 1"=30'

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- 1 CONCRETE SIDEWALK
 - 2 STANDARD DUTY ASPHALT
 - 3 LIGHT POLE FOUNDATION
 - 4 CHAINLINK FENCE
 - 5 90° PARKING STALL LAYOUT
 - 6 ASPHALT WALKING PATH

- NOTE LEGEND**
- 1 EDGE OF PAVEMENT
 - 2 LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
 - 3 MATCH EX. EDGE OF PAVEMENT, SAWCUT AS REQ'D TO ACHIEVE SQUARE EDGE TO MATCH
 - 4 12" LONG, 8" HIGH BOARD ON BOARD PRIVACY FENCE
 - 5 6" W/4" PRIVACY FENCE
 - 6 NO PARKING FIRE LANE SIGN, MUTCD NO. R9-31

- SITE LEGEND**
- PROPERTY LINE
 - PROPOSED SIDEWALK / CONCRETE PAD
 - NUMBER OF PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED ASPHALT PAVEMENT STANDARD DUTY
 - PROPOSED ASPHALT WALKING PATH

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris DPC
 487 Main Street Suite 500
 Buffalo, New York 14203
 P 716.842.3165
 F 716.842.0263



REVISIONS:

No.	Description	Date
1	Revised per Town comments	2/10/21
2	Revised per Town comments	2/23/21

PROJECT NAME:
 New Construction
Park Lane Villas North - Phase 2
 945 & 965 Center Road
 West Seneca, New York

Date: 1/11/21
 Drawn by: P. Sheedy
 Scale: As Noted

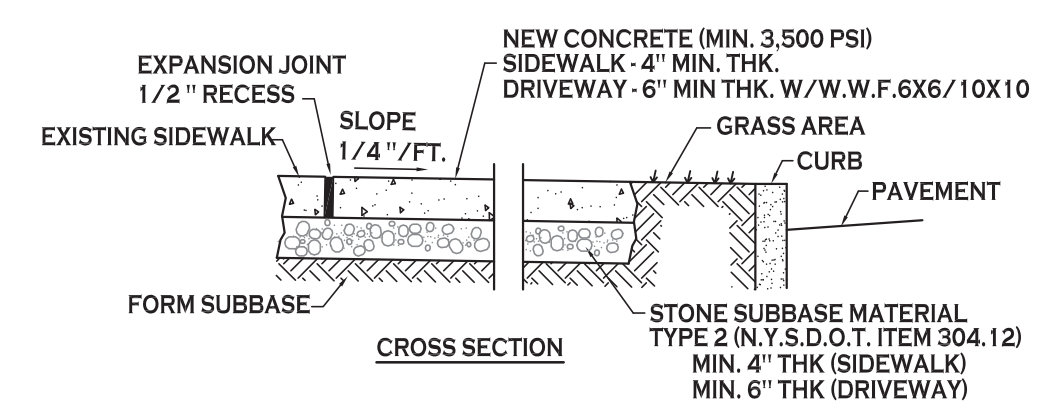
DRAWING NAME:
 Site Plan

DRAWING NO.:
 C-100

Project no.: 20.186

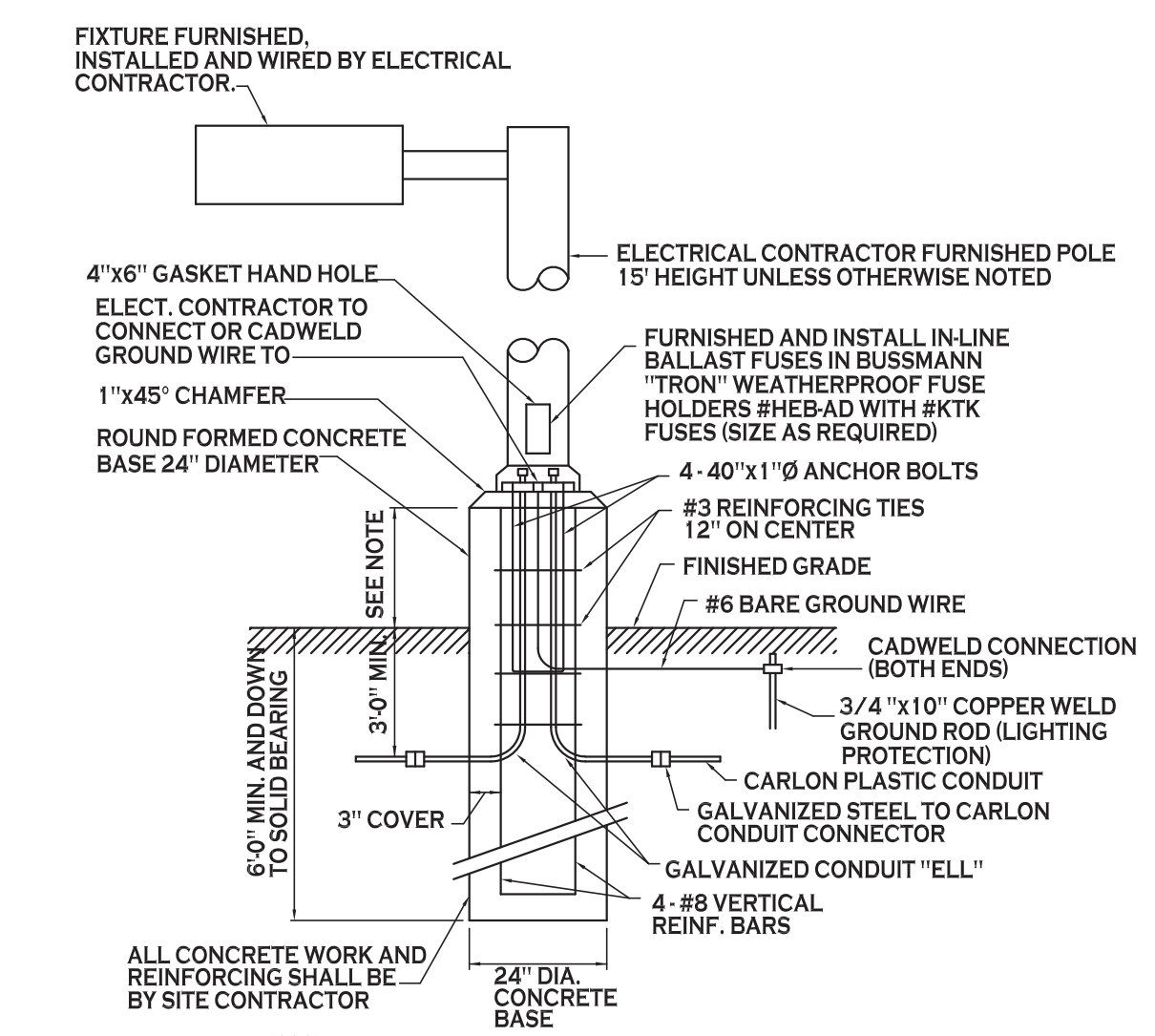
All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris (CWC) is prohibited. WARNING: It is violation of article 146 sections 7209N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC



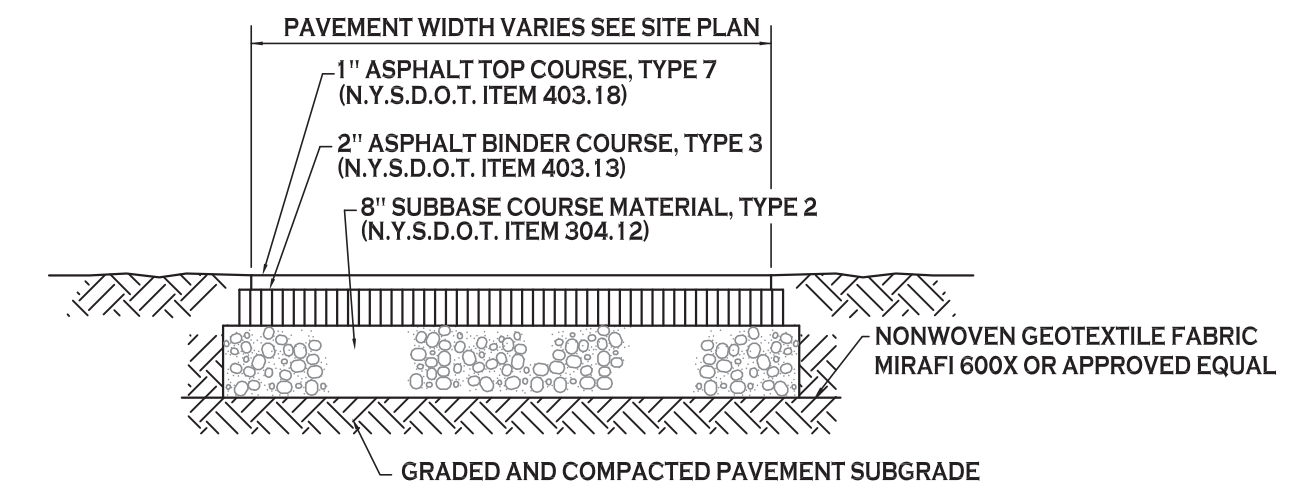
- NOTES:**
- CONTROL JOINTS TO BE AT 5'-0" O.C., BOTH WAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.
 - CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.
 - SUBBASE GRADE SHALL FOLLOW THE PROPOSED GRADE OF THE SIDEWALK AND SLOPE AWAY FROM BUILDING WHERE APPLICABLE, PROVIDE CONTINUOUS STONE PATH TO CURB UNDERDRAIN WHERE PROVIDED.
 - FULL DEPTH EXPANSION JOINTS SHALL BE INSTALLED EVERY 20' O.C., BOTH WAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.
 - SEE CURB DETAIL FOR DOWLING REQUIREMENTS WHERE ABUTTING CURB.
 - INSTALL 6" LONG #3 DOWELS @ 12" O.C. WHERE SIDEWALK ABUTS A BUILDING WALL AT AN ENTRANCE, THICKEN SIDEWALK TO 6" AT BUILDING WALL AND INSTALL DOWEL CENTERED IN THE 6" DEPTH. DOWELS AND THICKENING OF SIDEWALK SHALL EXTEND 18" EITHER SIDE OF ENTRANCE.
 - INSTALL 1/2" PREMOULDED EXPANSION JOINT WITH BACKER ROD & SEALANT WHERE SIDEWALK ABUTS BUILDING OR OTHER STRUCTURE.

CONCRETE SIDEWALK - 1
NOT TO SCALE



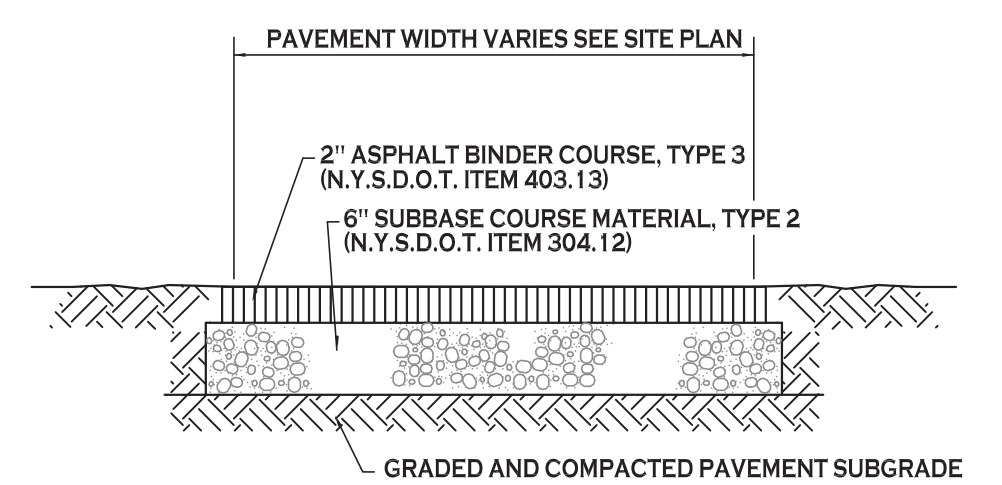
- NOTES:**
- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
 - FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
 - LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
IN PAVEMENT: 3" ABOVE GRADE
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

LIGHT POLE FOUNDATION - 3
NOT TO SCALE



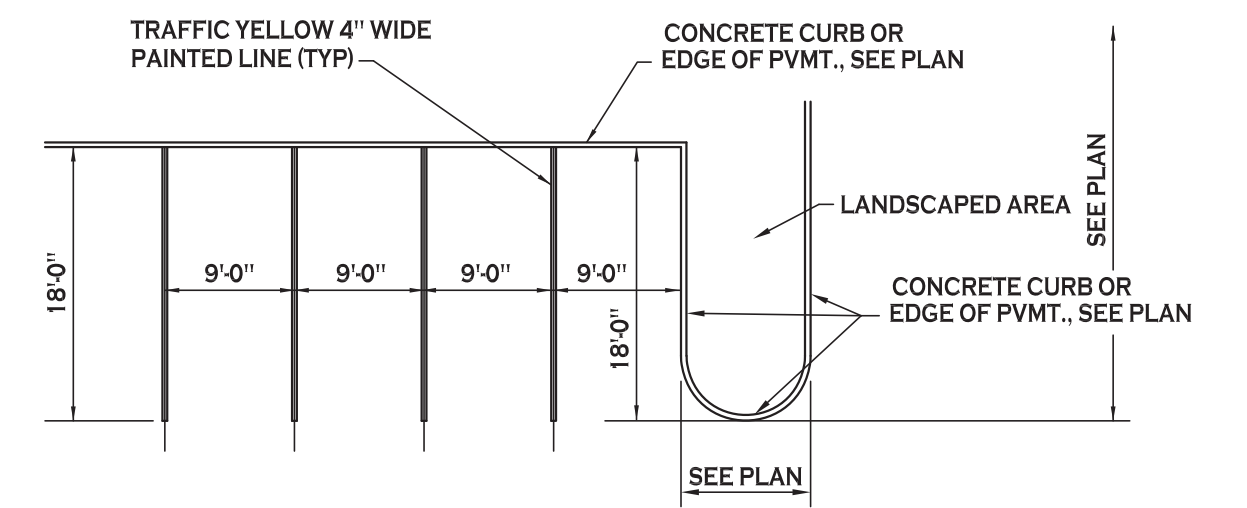
NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401-3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304-3.

STANDARD DUTY ASPHALT SECTION - 2
NOT TO SCALE

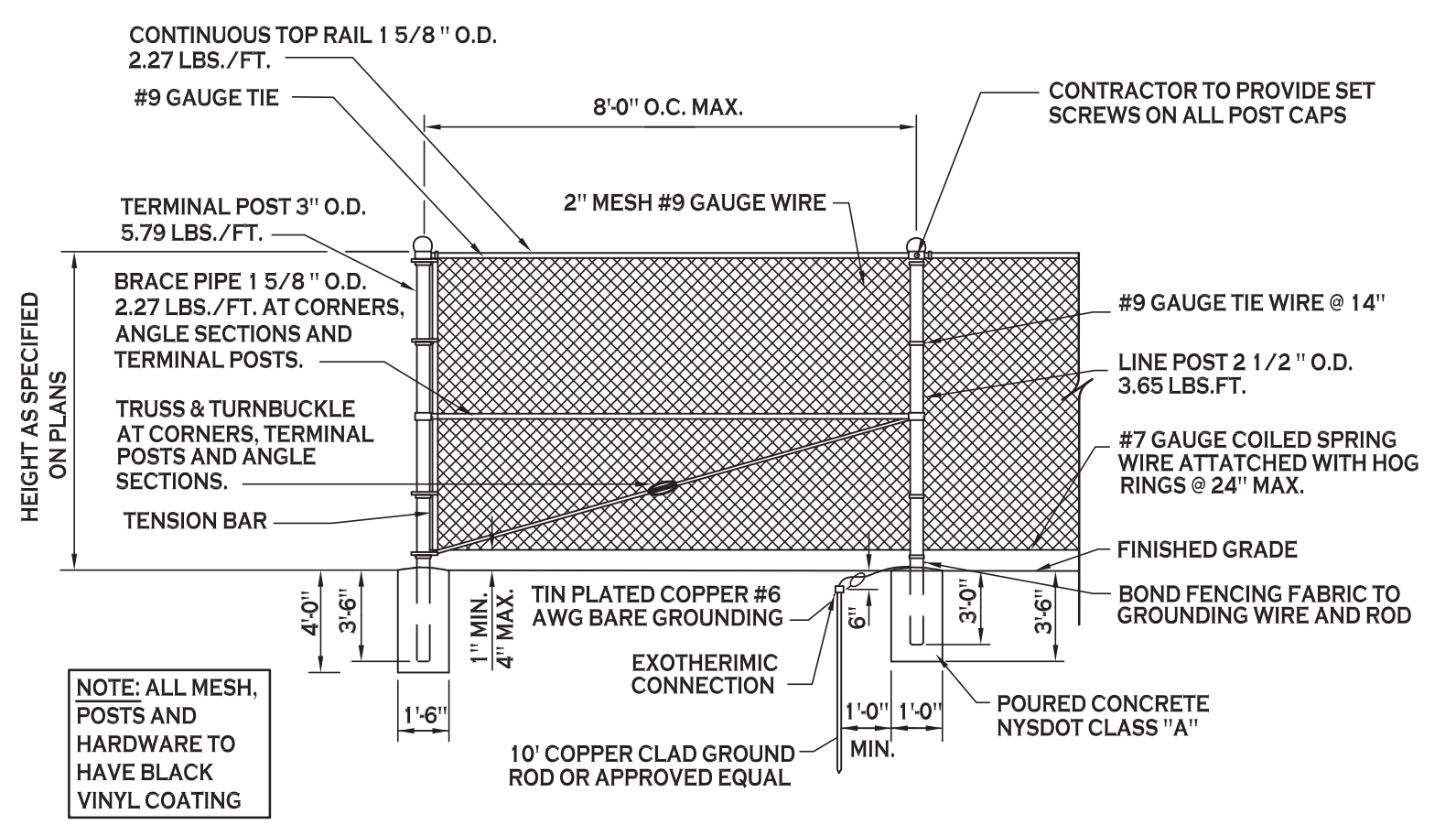


NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401-3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304-3.

ASPHALT WALKING PATH SECTION - 6
NOT TO SCALE



90° PARKING STALL LAYOUT - 5
NOT TO SCALE



NOTE: ALL MESH, POSTS AND HARDWARE TO HAVE BLACK VINYL COATING

VINYL COATED CHAIN LINK FENCE DETAIL - 4
NOT TO SCALE



Carmina Wood Morris
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS:	No.	Description	Date

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

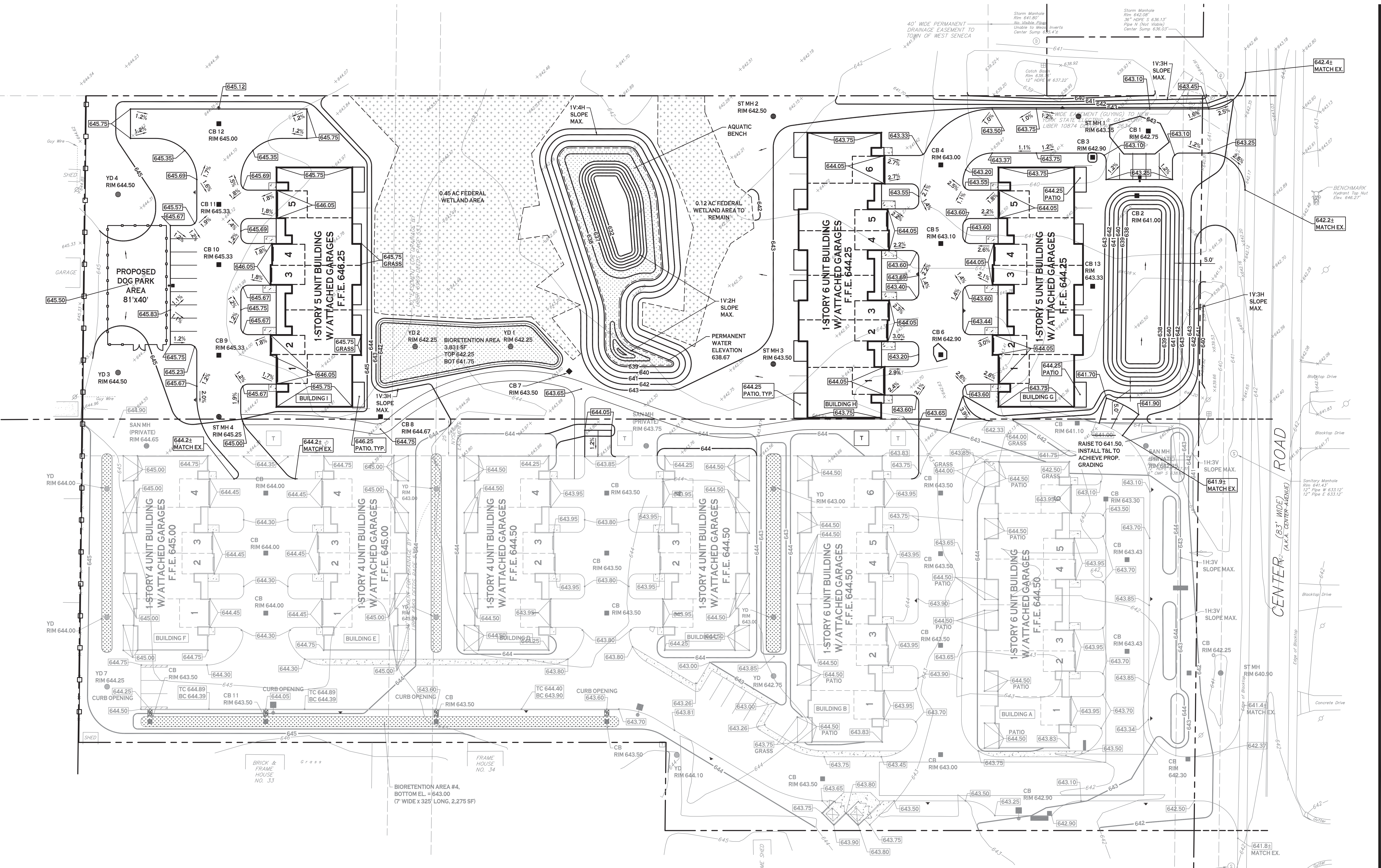
Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Site Details

DRAWING NO.:
C-101
Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 145 sections 2209N and 2301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC

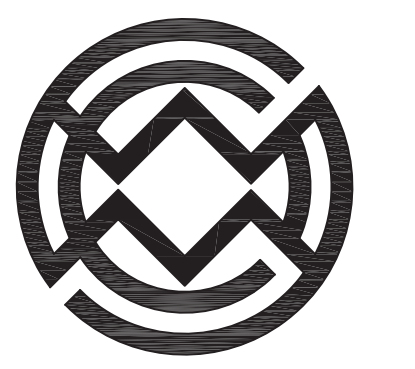


GRADING PLAN
SCALE: 1"=30'

PROPOSED GRADING LEGEND

- PROPOSED CONTOUR 101
- PROPOSED SPOT ELEVATION 100.80
- PROPOSED CATCH BASIN CB
- PAVEMENT/GROUND SLOPE
- PROPOSED YARD DRAIN YD
- PROPOSED MANHOLE MH

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS:
No. Description Date
1 Revised per Town comments 2/10/21

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

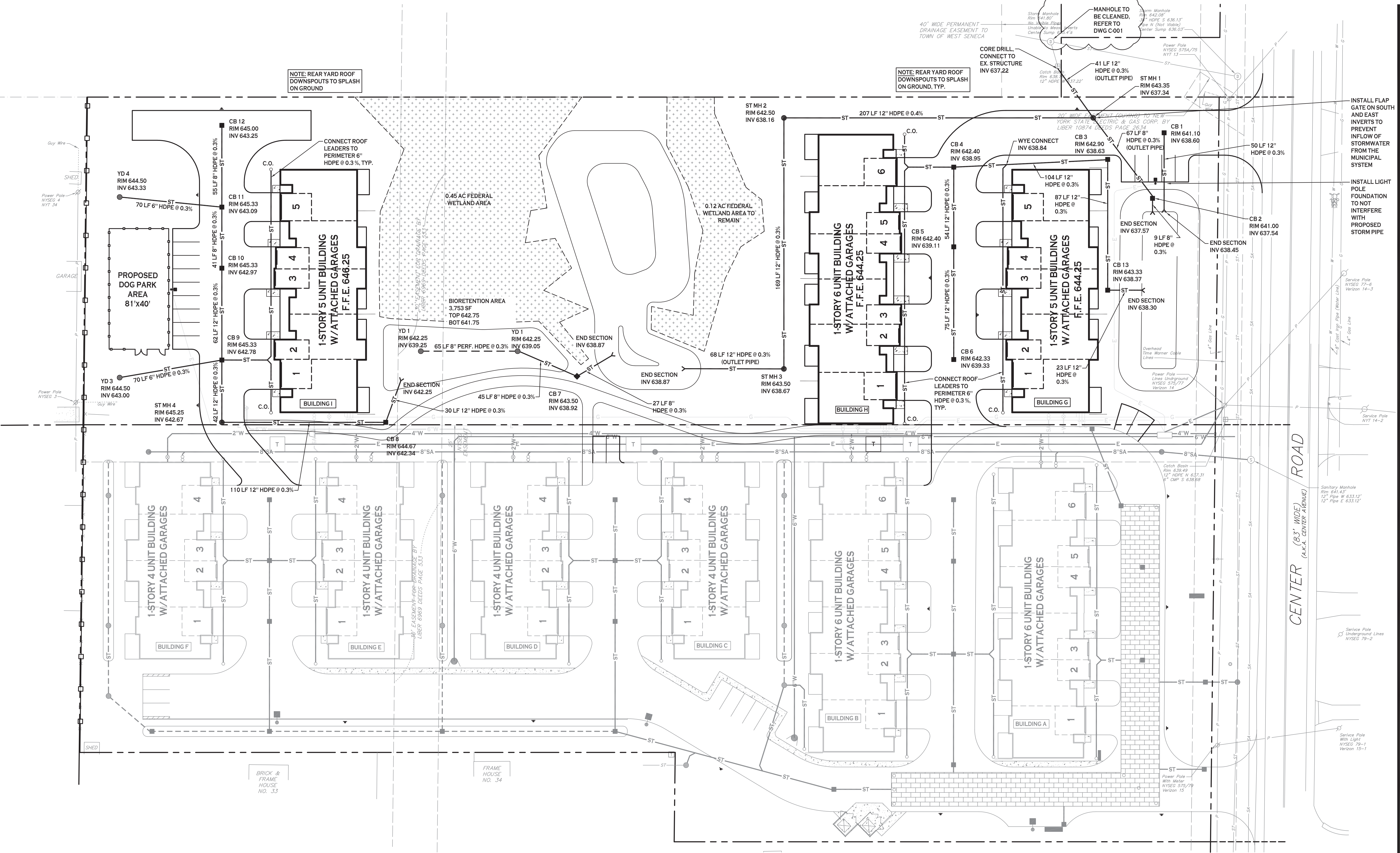
Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Grading Plan

DRAWING NO.
C-200
Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 7202N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC



STORM DRAINAGE PLAN
SCALE: 1"=30'

STORM DRAINAGE NOTES:

- INSTALL END SECTIONS AND RIP RAP STONE FOR ALL DISCHARGES INTO THE DETENTION AND BIORETENTION BASINS.
- BIORETENTION AREAS TO BE PROTECTED FROM SILTATION FROM RUNOFF OF ADJACENT AREAS. INSTALL ADDITIONAL SILT FENCE/SILT SOCK IF REQUIRED. THE BIORETENTION SOIL SHALL NOT BE COMPACTED ONCE INSTALLED.
- CONTRACTOR TO INSTALL CONNECTIONS TO ROOF DOWN SPOUTS. COORDINATE LOCATION WITH ARCHITECTURAL PLANS.

PROPOSED STORM DRAINAGE LEGEND

PROPOSED STORM PIPE	— ST —
PROPOSED CATCH BASIN	■
PROPOSED MANHOLE	●
PROPOSED YARD DRAIN	⊗
PROPOSED CLEANOUT	○

CB: CATCH BASIN
 CO: CLEANOUT
 MH: MANHOLE
 YD: YARD DRAIN

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris DPC
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS:

No.	Description	Date
1	Revised per Town comments	2/10/21
2	Revised per Town comments	2/23/21

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

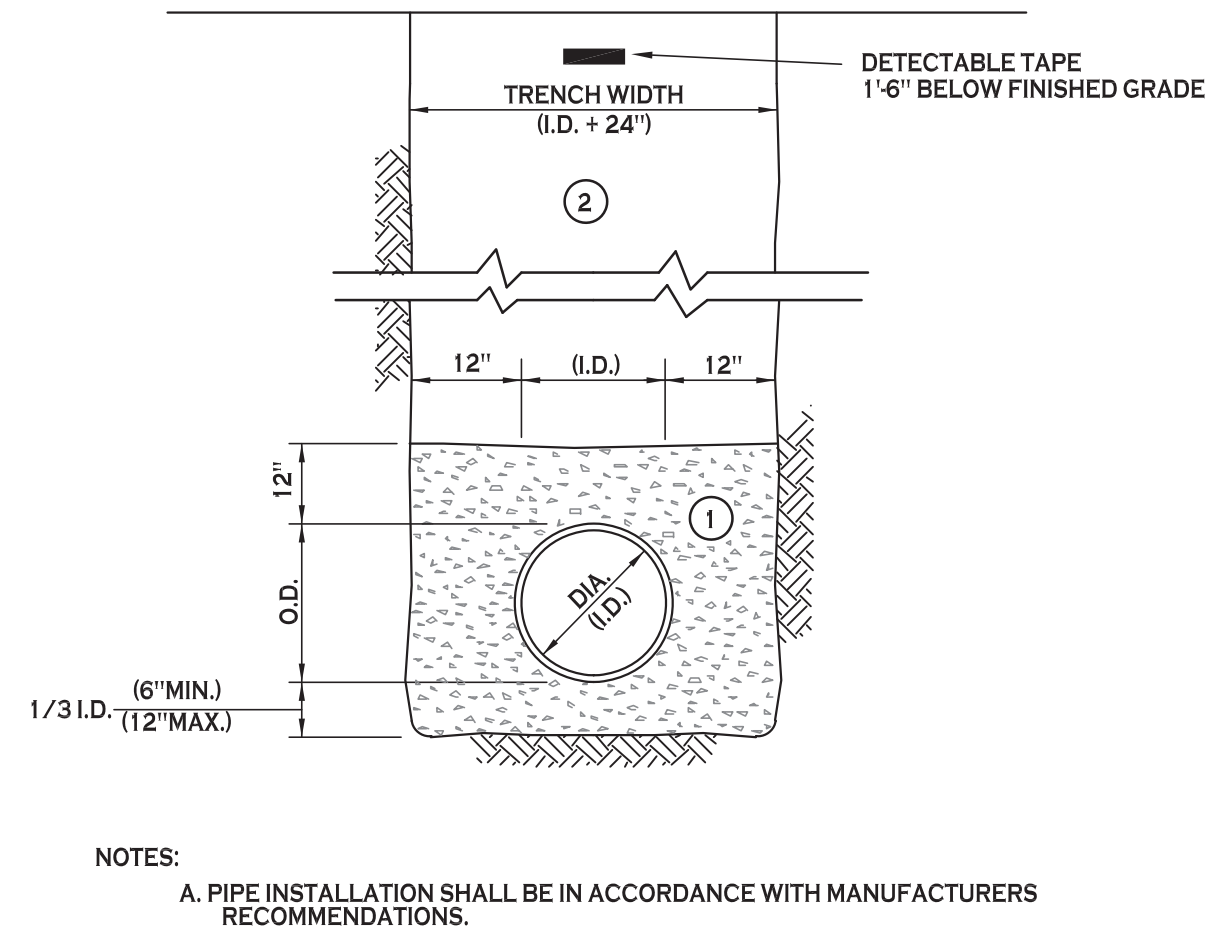
Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Storm Drainage Plan

DRAWING NO.:
C-300
Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris (CWM) is prohibited. WARNING: It is violation of article 146 sections 7200N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC

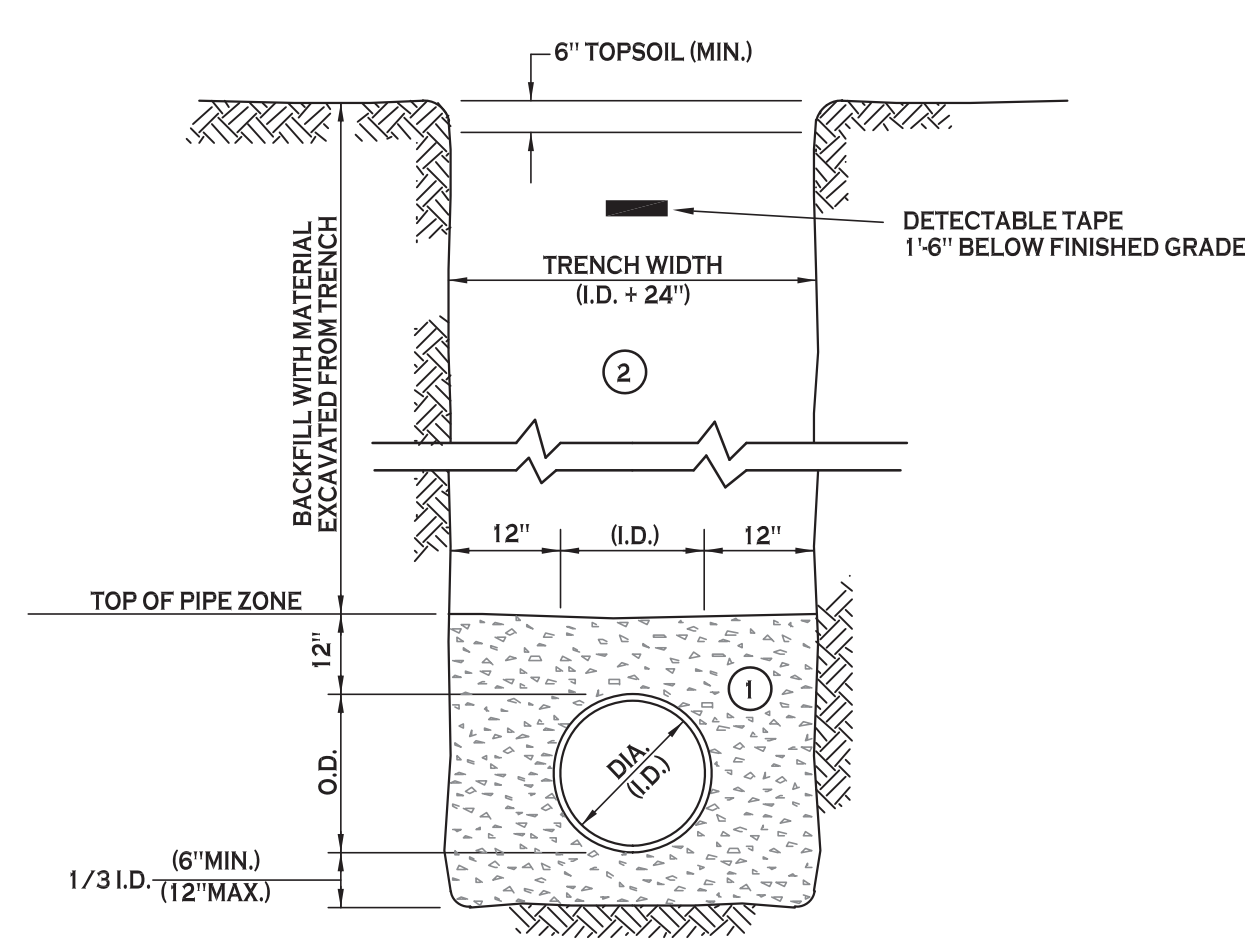


- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

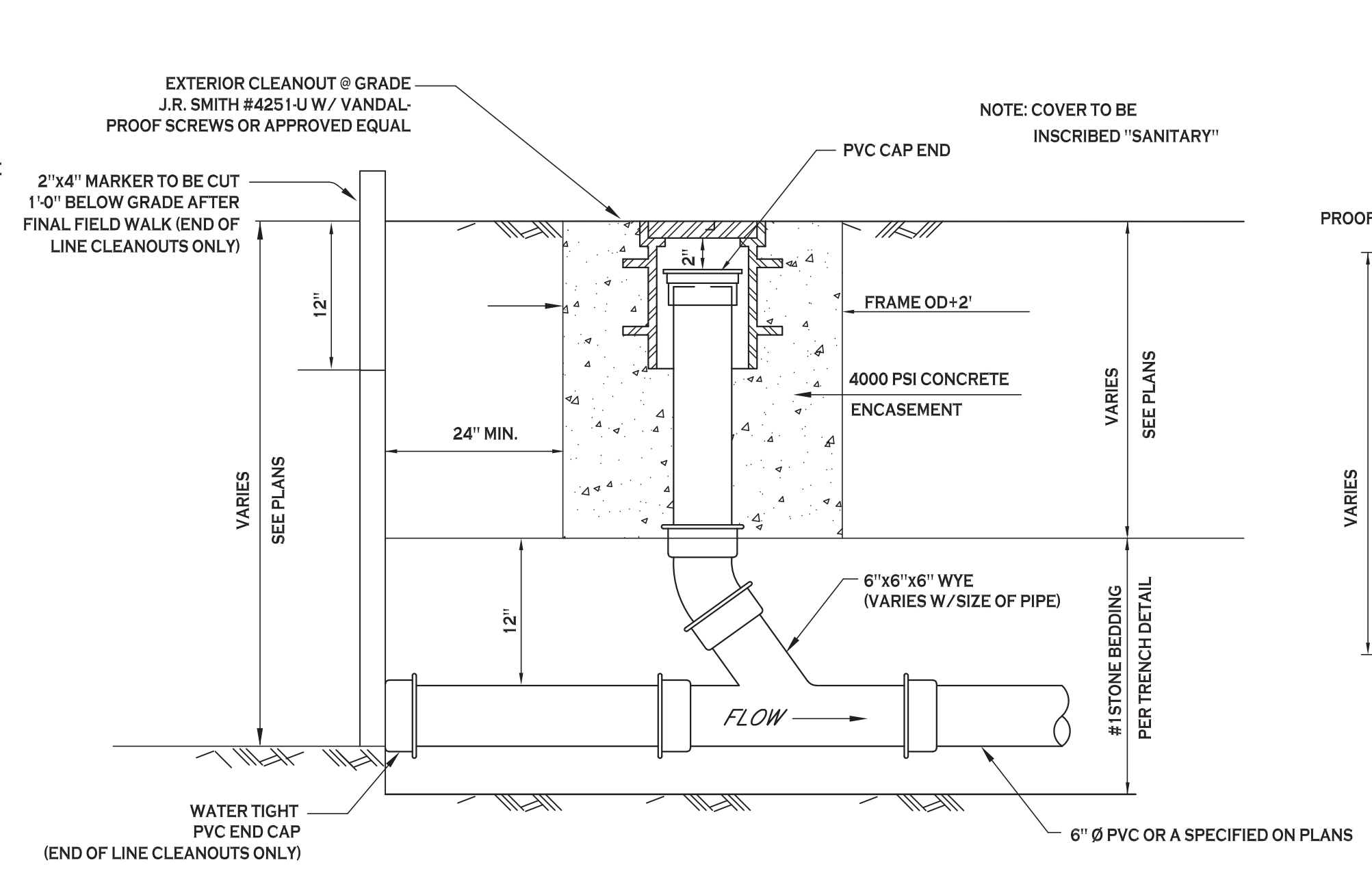


- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

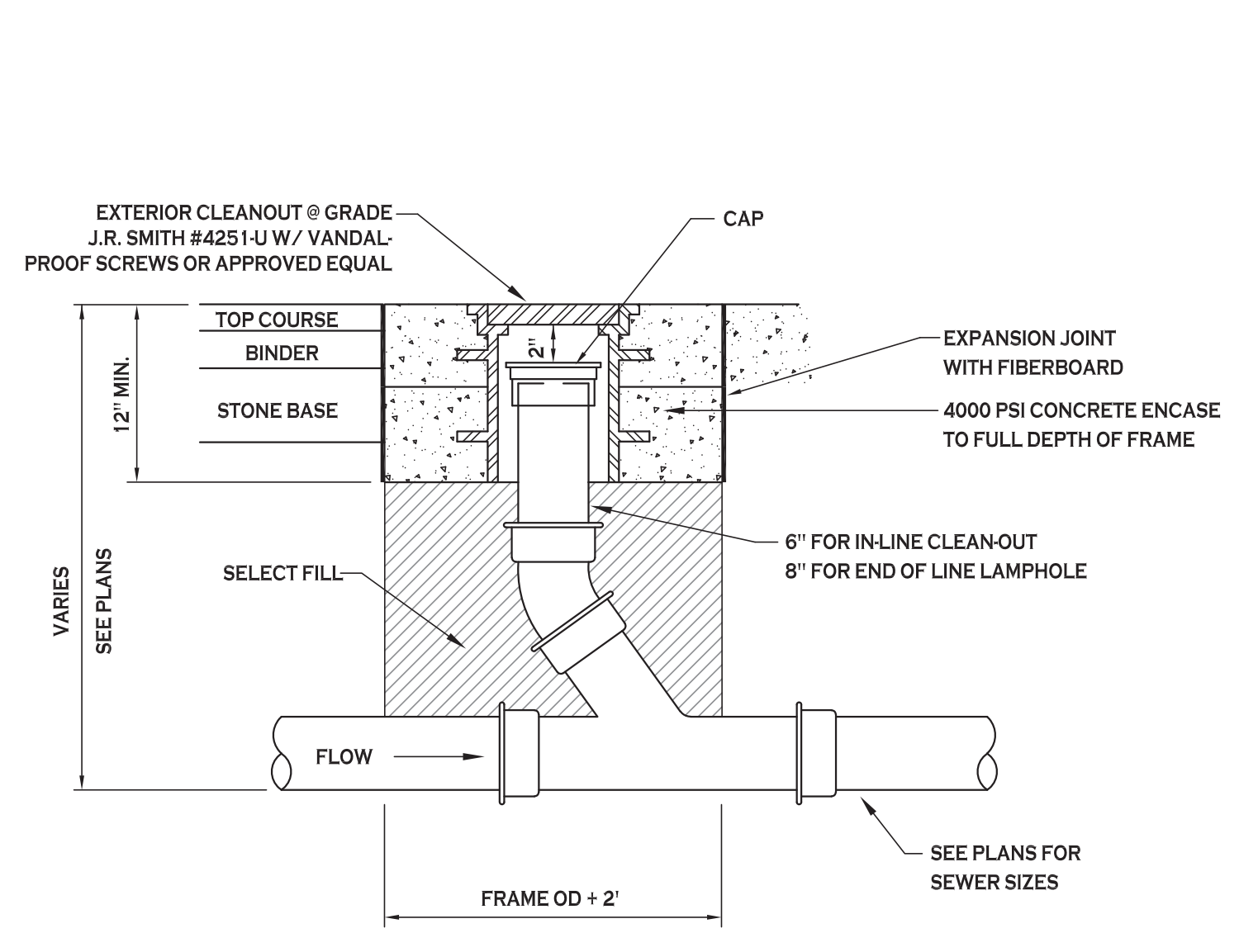
PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.



LAMPHOLE/CLEANOUT IN LAWN/FIELD AREAS

NOT TO SCALE



LAMPHOLE/CLEANOUT IN PAVEMENT/SIDEWALK

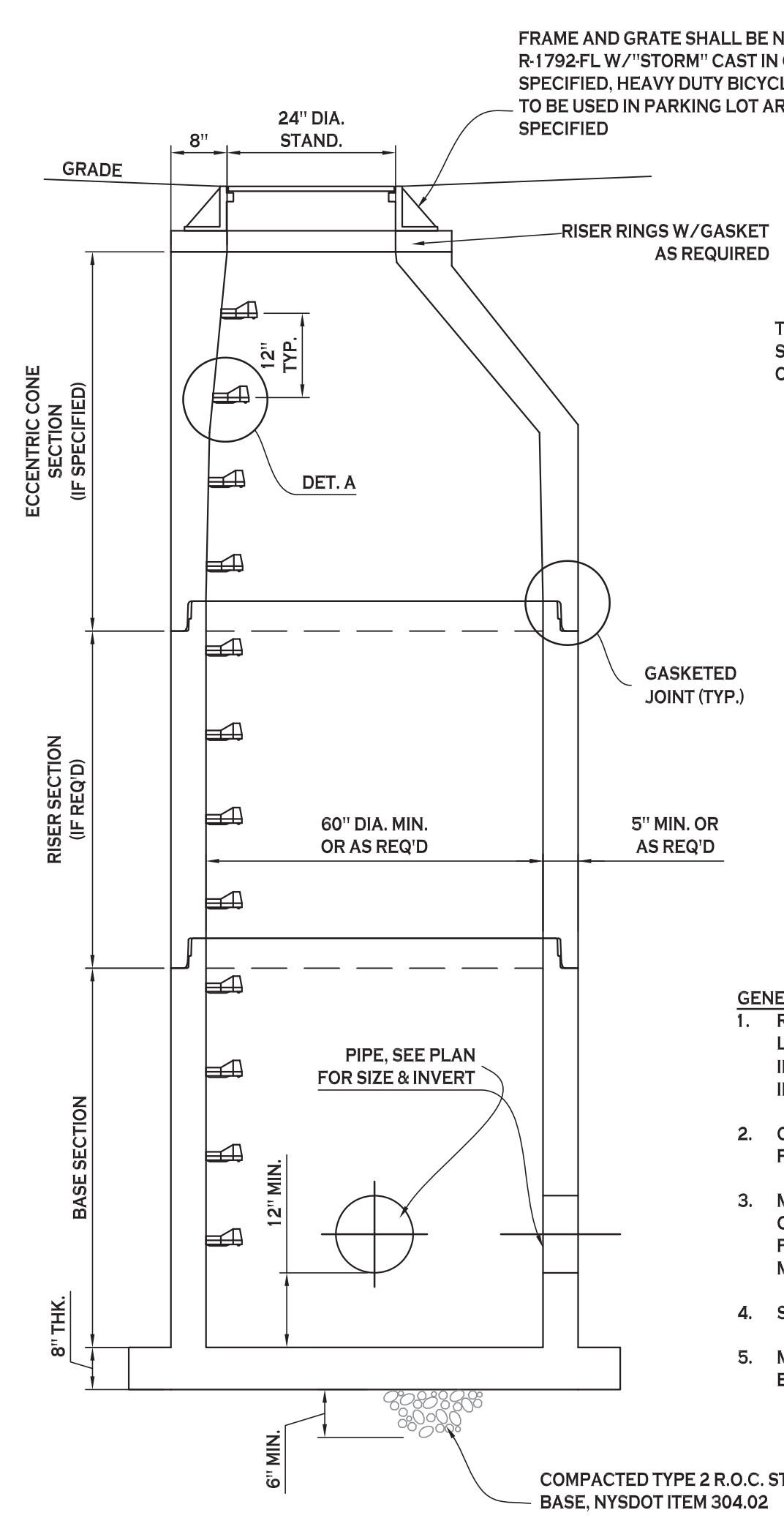
NOT TO SCALE

STORM SEWER TRENCH SECTION IN PAVED AREAS

NOT TO SCALE

STORM SEWER TRENCH SECTION IN UNPAVED AREAS

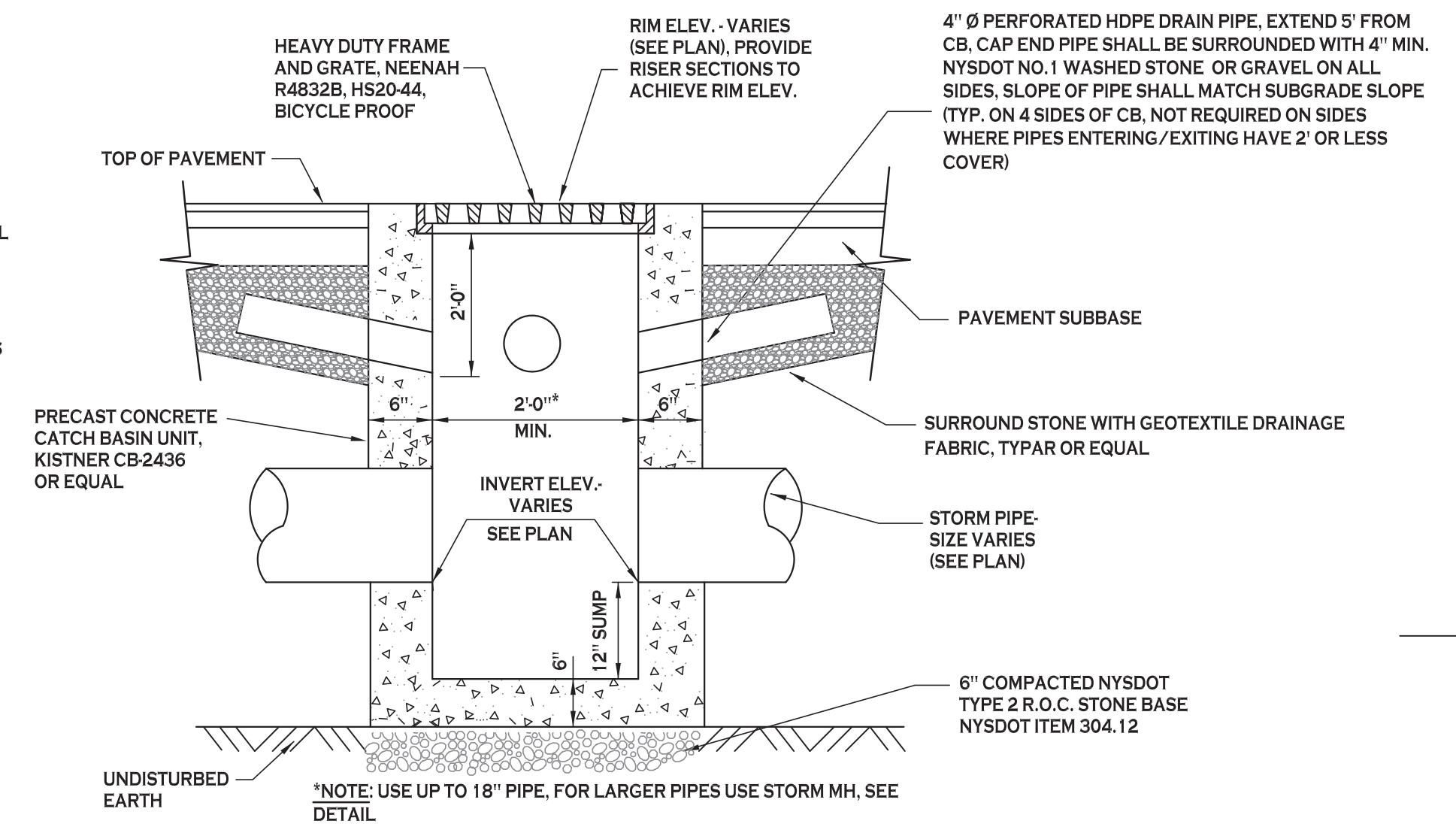
NOT TO SCALE



- GENERAL NOTES:
- REINFORCED STEEL TO CONFORM TO LATEST A.S.T.M. A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) IN BASE SLAB.
 - CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.
 - MANHOLE DESIGN SPECIFICATIONS TO CONFORM TO LATEST A.S.T.M. C478 SPEC. FOR PRE-CAST REINFORCED CON-CRETE MANHOLE SECTIONS.
 - SINGLE POUR MONOLITHIC BASE SECTION.
 - MANHOLE TO BE COATED ON OUTSIDE WITH BITUMASTIC SEALER.

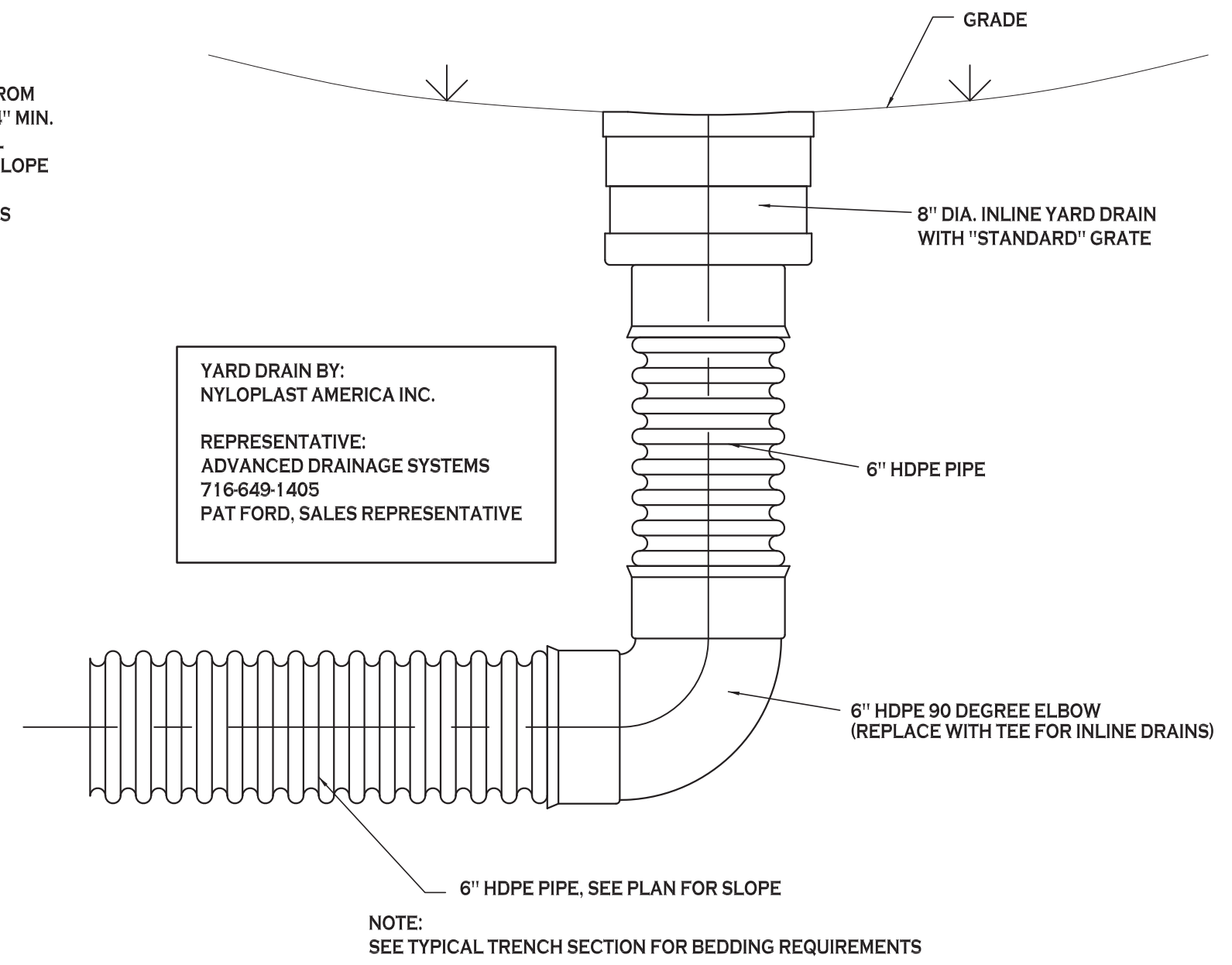
TYPICAL 5'Ø STORM MANHOLE DETAIL

NOT TO SCALE



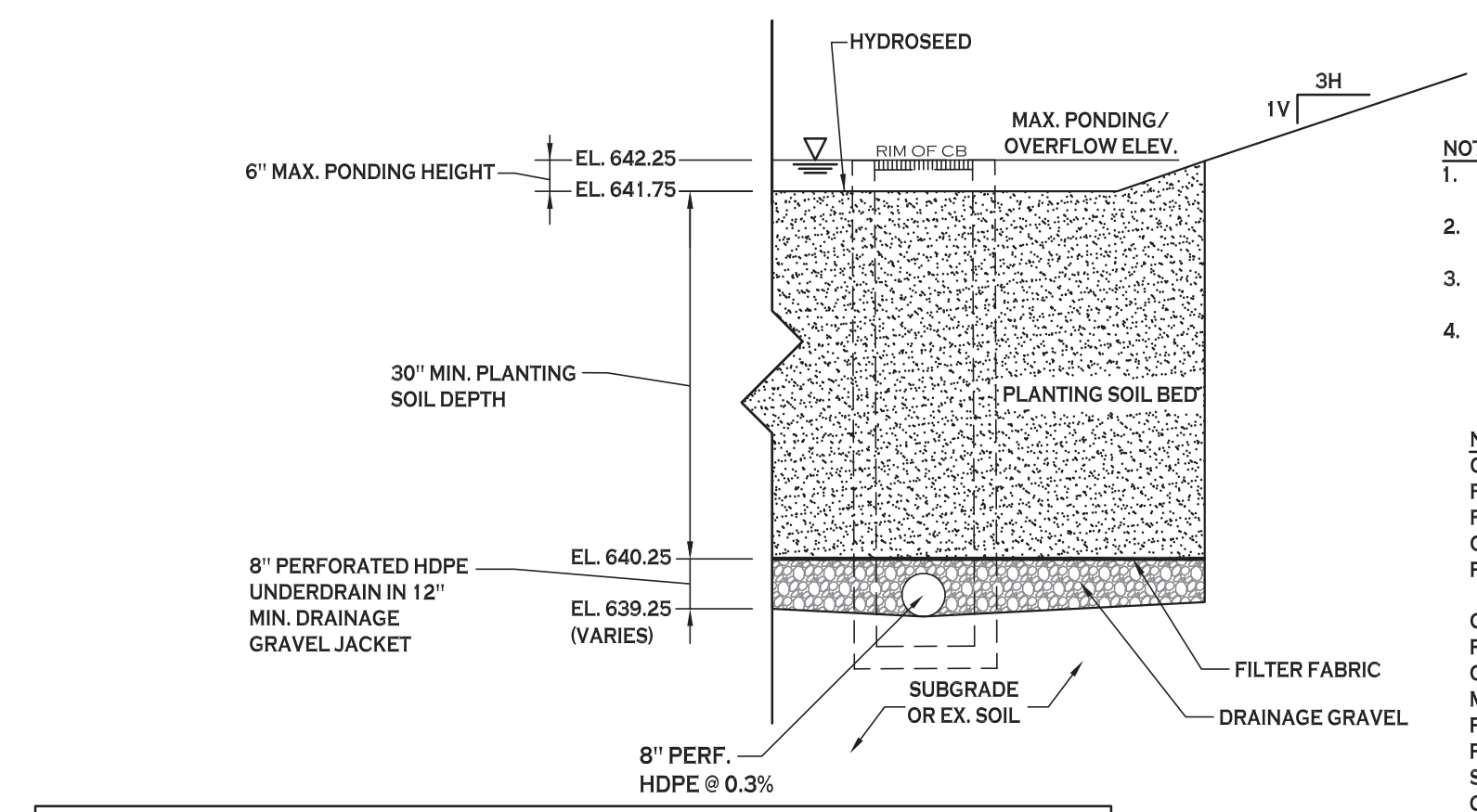
TYPICAL PRECAST CATCH BASIN

NOT TO SCALE



TYPICAL YARD DRAIN DETAIL

NOT TO SCALE

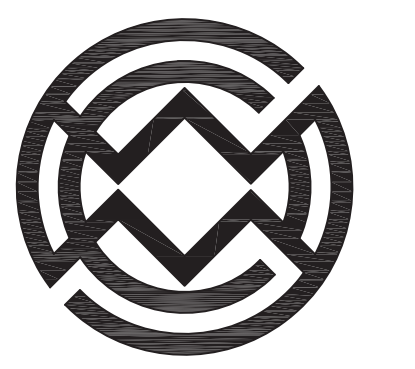


BIO-RETENTION AREA SEEDING SPEC (NORTHEAST WETLAND GRASS SEED MIX):

SEED MIXTURE	VARIETY	PERCENT BY NO. OF SEEDS
CREeping BENTGRASS	Agrostis STOLONIFERA	63.0
ROUGH BLUEGRASS	Poa TRIVIALIS	17.0
MEADOW FORTAIL	ALOPECURUS ARUNDINACEUS	11.0
ANNUAL RYEGRASS	LOLIUM MULTIFLORUM	4.5
DEERTONGUE	PANICUM CLANDESTINUM	4.5

BIORETENTION AREA - TYPICAL SECTION

NOT TO SCALE



Carmina Wood Morris
 487 Main Street Suite 500
 Buffalo, New York 14203
 P 716.842.3165
 F 716.842.0263



REVISIONS: No. Description Date

PROJECT NAME: New Construction
Park Lane Villas North - Phase 2
 945 & 965 Center Road
 West Seneca, New York

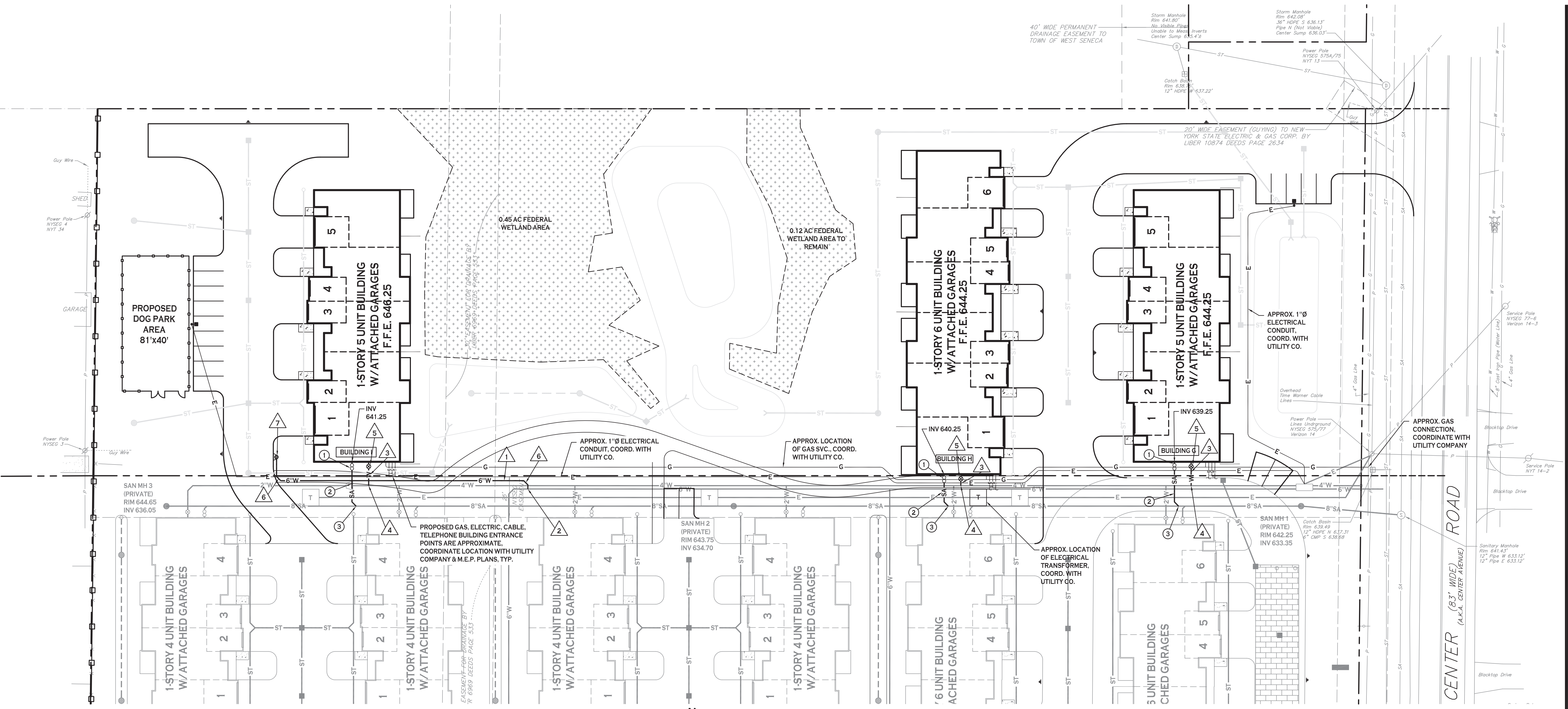
Date: 1/11/21
 Drawn by: P. Sheedy
 Scale: As Noted

DRAWING NAME:
Storm Drainage Details

DRAWING NO. C-301
 Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 145 sections 7202N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

Carmina Wood Morris DPC

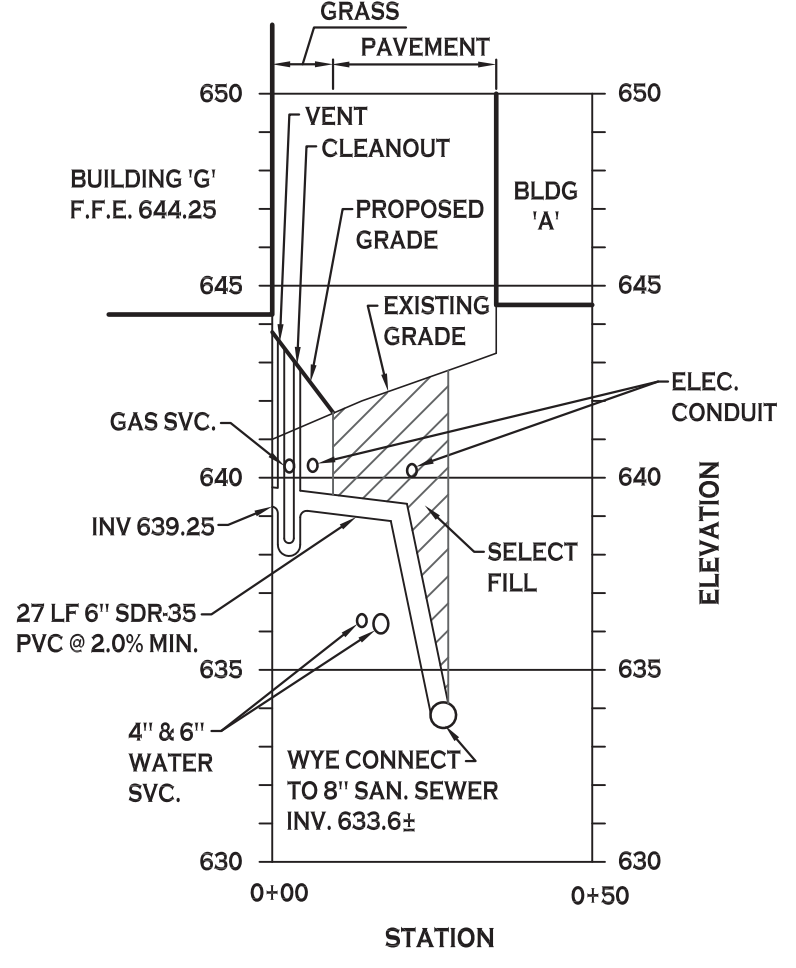


- UTILITY NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL STORM AND SANITARY LOCATIONS/INVERTS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONNECT NEW WATER SERVICE TO EXISTING WATER SERVICE. EXISTING WATER SERVICE LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND REMOVED/ABANDONED IN ACCORDANCE WITH ERIE COUNTY WATER AUTHORITY (ECWA) REQUIREMENTS.
 - FOR ALL SANITARY SEWERS, INSTALL SELECT FILL IN PAVED AREAS, EXTEND 5' MIN. BEYOND PAVEMENT LIMITS.
 - ALL BUILDINGS TO HAVE A 6" HOUSE TRAP, VENT AND CLEANOUT INSTALLED AT ENTRANCE POINT. INVERT ELEVATION TO BE 5' BELOW F.F.E. OF THE BUILDING. PIPE TO BE 6" SDR-35 PVC @ 2.0% MIN WITH MIN 4' OF COVER. ADD ADDITIONAL CLEANOUT @ 90' MAX. SPACING FOR 6" LATERALS OVER 90' IN LENGTH. WYE CONNECT INTO PRIVATE 8" SANITARY SEWER. CONNECTIONS TO BE MADE A MIN. OF 5' AWAY FROM MANHOLE LOCATIONS, SEE PLAN.
 - COORDINATE GAS & ELEC. METER BANK LOCATIONS ON BUILDING WITH M.E.P. PLANS & UTILITY CO.'S.
 - COORDINATE LOCATION OF CTV & TELEPHONE SERVICE TO BUILDING WITH M.E.P. PLANS AND UTILITY CO.'S.
 - PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
 - ANY EXISTING UTILITIES WHICH ARE TO BE ABANDONED AND FALL UNDER PAVEMENT OR BUILDINGS SHALL BE REMOVED VS. BEING ABANDONED UNLESS THOSE UTILITIES ARE FILLED WITH FLOWABLE FILL.
 - EXISTING WATER, GAS AND SANITARY LINES SHOWN ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION/SIZE/CONDITION BEFORE CONSTRUCTION.
 - A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
 - THE ERIE COUNTY WATER AUTHORITY (ECWA) IS TO BE NOTIFIED A MINIMUM OF 48-HOURS PRIOR TO STARTING THE CONNECTION FOR THE NEW WATER SERVICE.
 - SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH PAVEMENT AREAS.
 - ALL SANITARY SEWER CONSTRUCTION SHALL ADHERE TO ERIE COUNTY SEWER SPECIFICATIONS AND DETAILS, AND ERIE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
 - ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, ERIE COUNTY, OR TOWN OF WEST SENECA ARE THE RESPONSIBILITY OF THE CONTRACTOR.

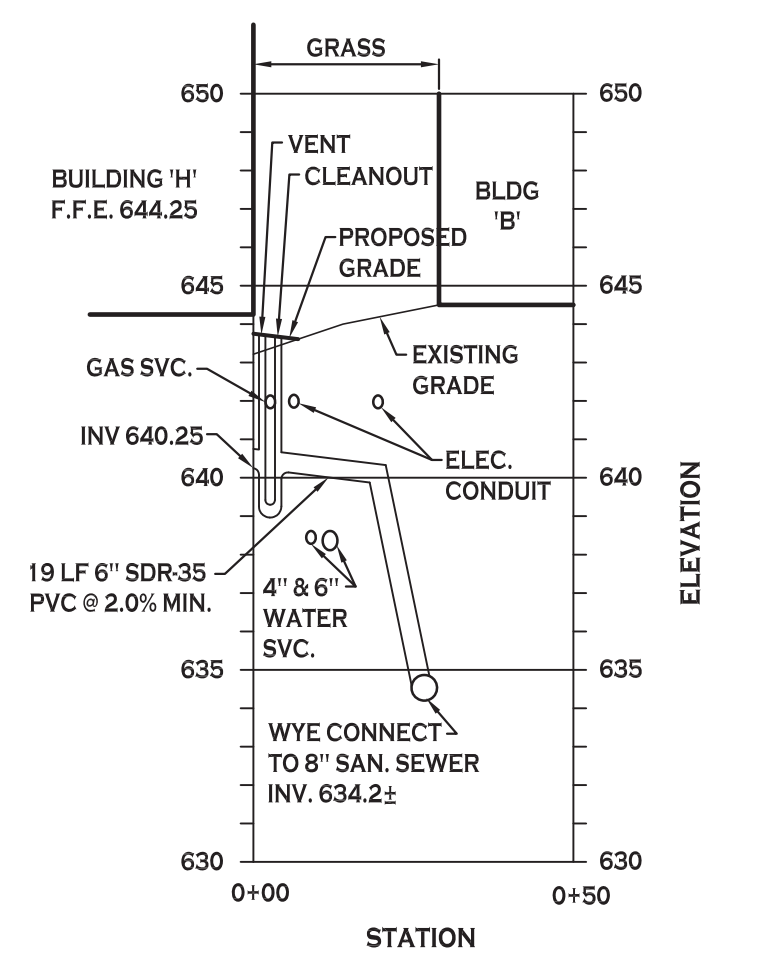
UTILITY PLAN
SCALE: 1"=30'

- SANITARY NOTE LEGEND**
- ① C.O., TRAP & VENT
 - ② 6" SDR-35 PVC @ 2.0% MIN. FOR PIPE LENGTH, SEE PROFILE ON C-401
 - ③ 8"x8" WYE CONNECT FOR CONNECTION INVERT, SEE PROFILE ON C-401

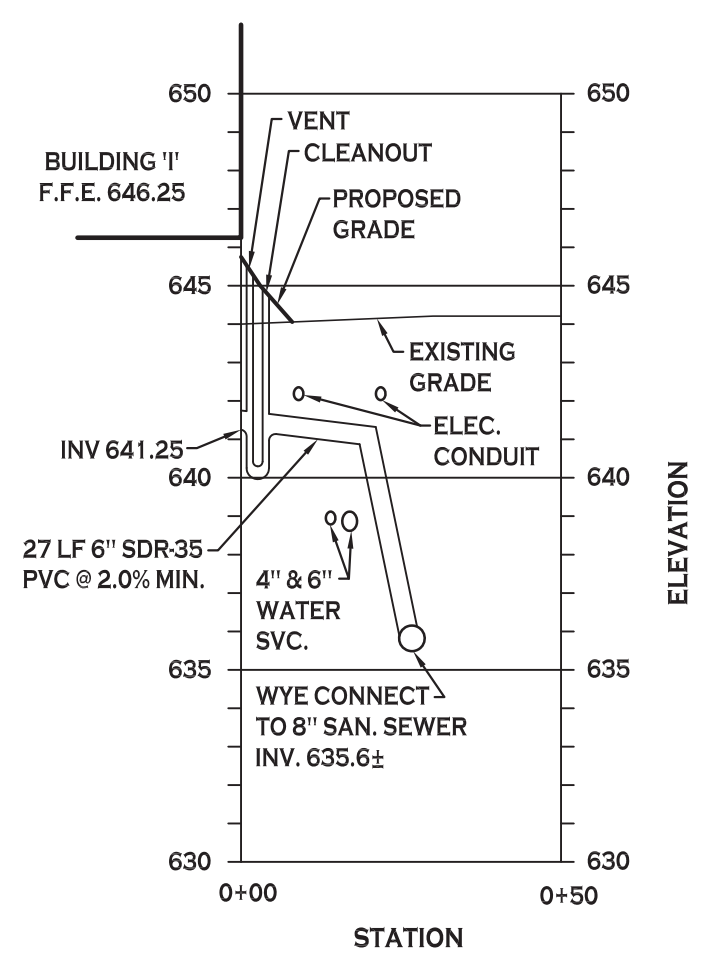
- WATER NOTE LEGEND**
- ▲ 6" AWWA C-900 PVC FIRE SERVICE
 - ▲ 6"x6"x6" TEE
 - ▲ 2" POLYETHYLENE DOMESTIC SERVICE
 - ▲ 2" CORP. STOP
 - ▲ 2" CURB STOP & BOX
 - ▲ PROVIDE BENDS & BLOCKING AS REQUIRED, TYP.
 - ▲ HYDRANT ASSEMBLY, PAINTED RED



BUILDING 'G' 6" SANITARY LATERAL PROFILE
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'



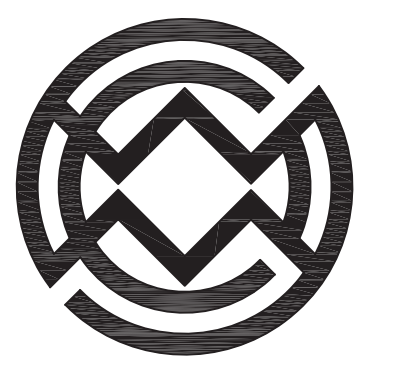
BUILDING 'H' 6" SANITARY LATERAL PROFILE
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'



BUILDING 'I' 6" SANITARY LATERAL PROFILE
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'

- PROPOSED STORM/UTILITY LEGEND**
- PROPOSED WATER LINE — W —
 - PROPOSED SANITARY SEWER — SA —
 - PROPOSED UTILITY CONNECTIONS (GAS, ELEC., CABLE, TEL., ETC.)
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED CLEANOUT

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris DPC
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS:

No.	Description	Date
1	Revised per Town comments	2/10/21

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

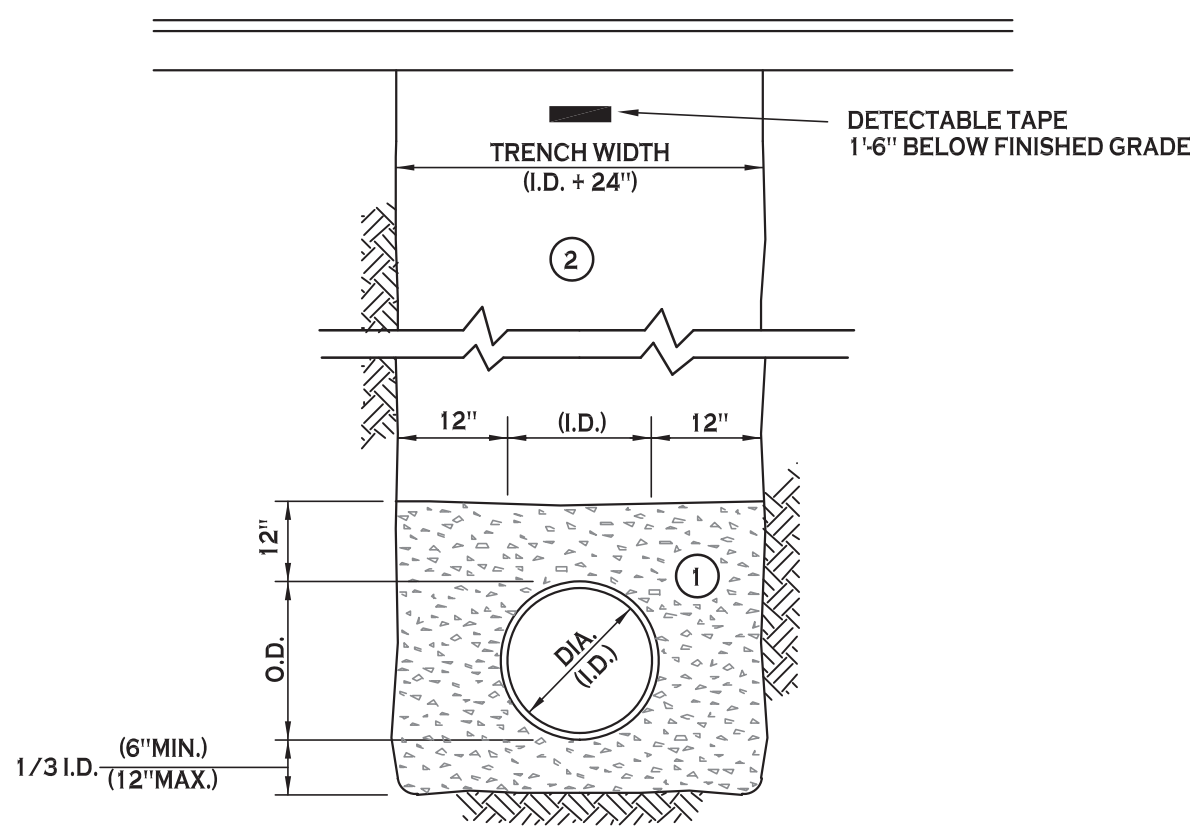
Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Utility Plan

DRAWING NO.
C-400
Project no.: 20.186

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris (CWM) is prohibited. **WARNING:** It is violation of article 146 sections 7202N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris (CWM) DPC



- NOTES:**
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

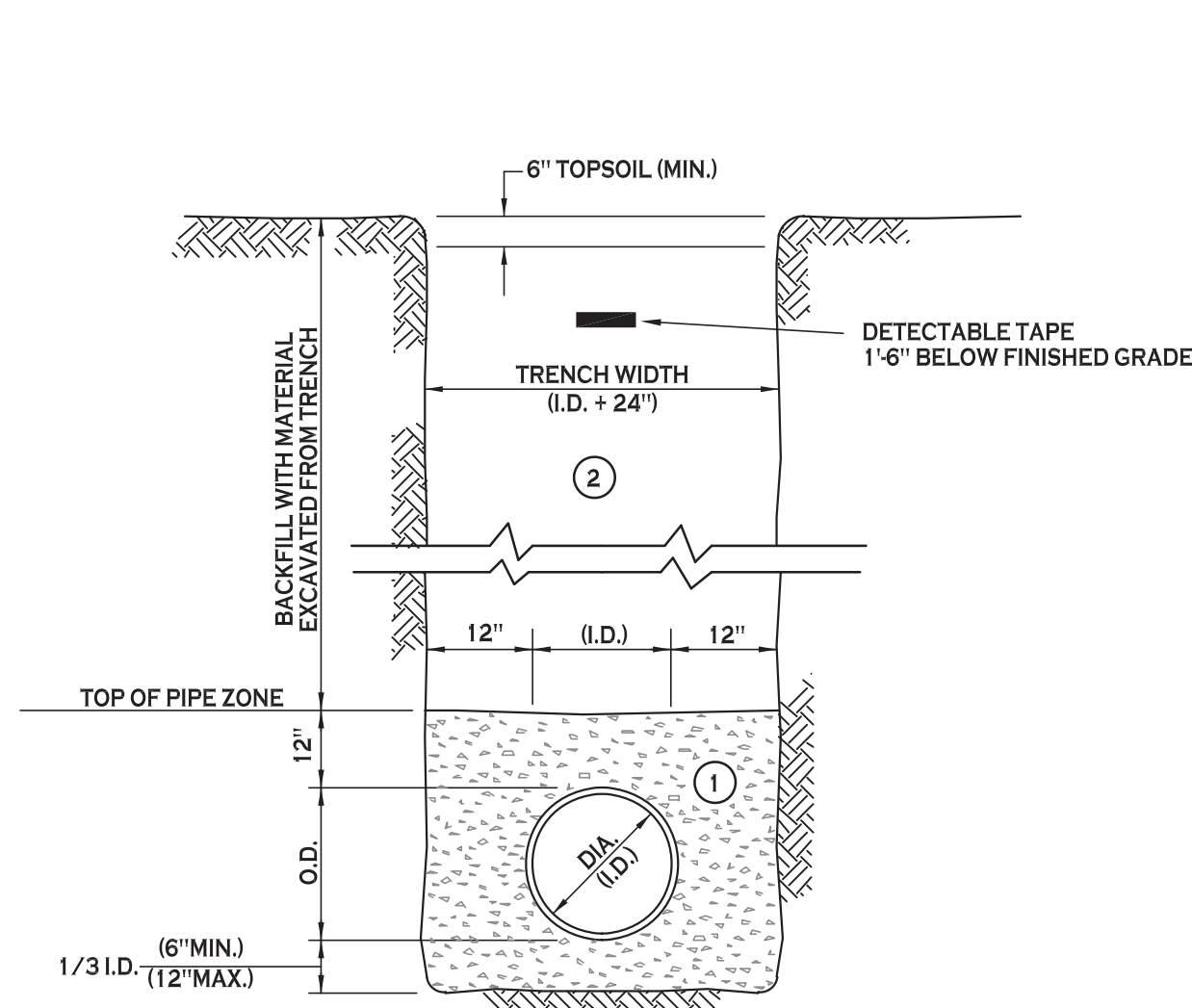
- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 1

- 2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 3042.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

SEWER/PIPE TRENCH SECTION IN PAVED AREAS
NOT TO SCALE



- NOTES:**
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

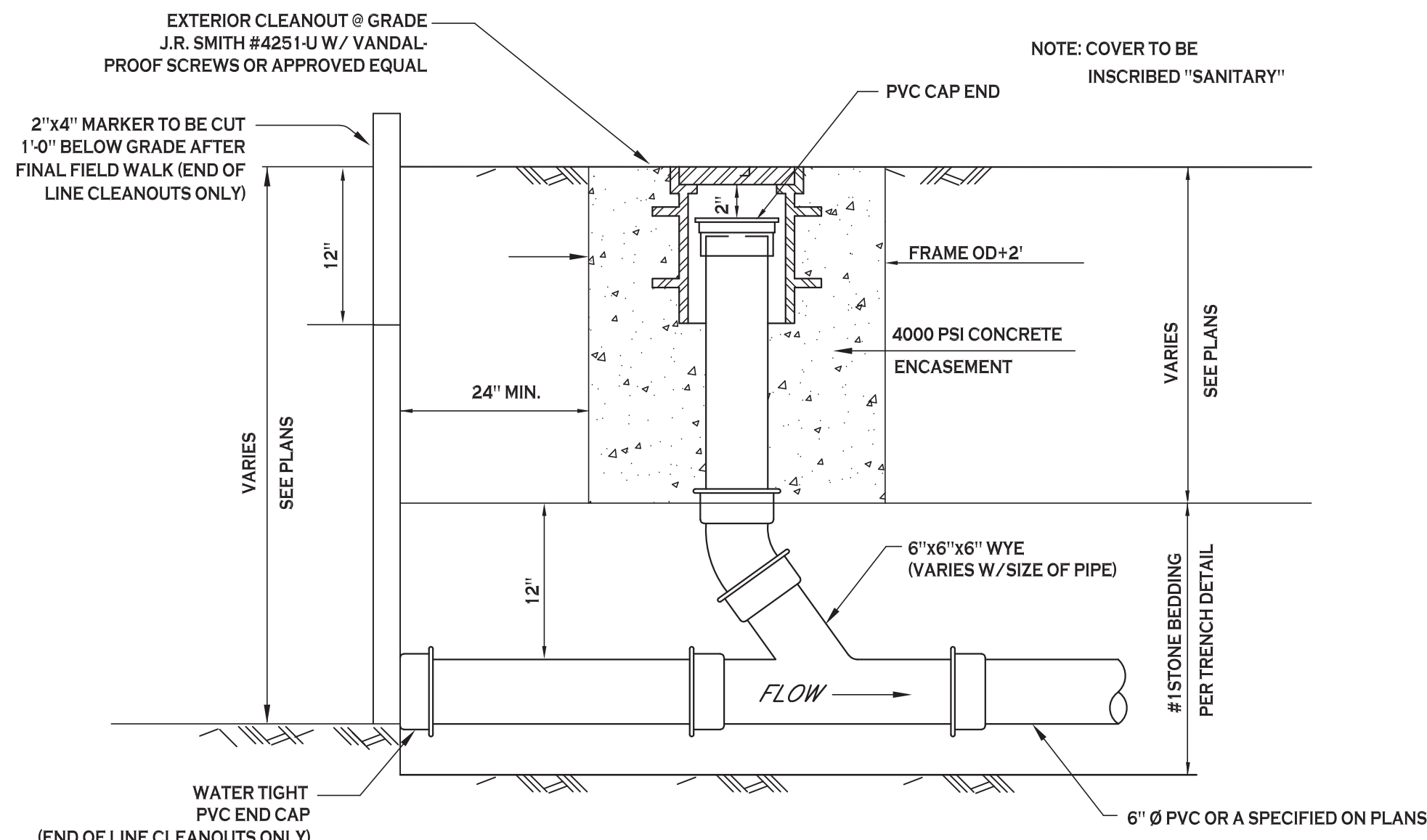
PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 1

- 2 BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

SEWER/PIPE TRENCH SECTION IN UNPAVED AREAS
NOT TO SCALE



LAMPHOLE/CLEANOUT IN LAWN/FIELD AREAS
NOT TO SCALE

TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL (JANUARY 2018)

NOTES:

- NO INSPECTION SHALL BE PROVIDED UNTIL 48 HOURS BEFORE THE SCHEDULED DATE FOR SCHEDULING.
- ALL WORK MUST BE IMPROVED BY COUNTY INSPECTOR.
- PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST A.W.W.A. SPECIFICATIONS. PIPE MATERIAL SHALL BE EXTRA HIGH DENSITY POLYETHYLENE (HDPE) MEETING THE REQUIREMENTS OF ASTM A742-02.
- VENTS AND CLEANOUTS MUST BE INSTALLED IN LAWN AREAS, NOT IN SIDEWALKS OR DRIVEWAY AREAS. PREFERABLY BETWEEN THE CURB OR EDGE OF PAVEMENT AND THE SIDEWALK.
- SLOTTED BACKFILL REQUIRED UNDER PAVED AREAS.
- CONCRETE ENCASUREMENT OF 4" MIN. UNDER RISER AREAS.
- MIN. DEPTH OF COVER 3'-0" (SEE PLAN FOR VENT AND TRAP LOCATIONS).
- BRASS THREADED PLUG CAP WITH RECESSED NUT SET IN CAST IRON CLEAN OUT BODY FERULE TYPE.
- SEE CLEAN OUT DETAIL FOR SERVICE CONNECTION.
- 8" PVC RISER PIPE EVERY 100' (MAX) AND EVERY CHANGE IN ALIGNMENT.
- UNDISTURBED SUBGRADE.
- 13' LENGTHS OF 6" DIA. PVC (SDR-35) @ 1% MINIMUM.
- CLAY DAM.
- NO. 1 CRUSHED STONE OR NO. 1 CRUSHED GRAVEL, 4" UNDER & 6" OVER PIPE.
- TRAP AND VENT ARE REQUIRED UNLESS PROHIBITED BY THE LOCAL MUNICIPALITY.
- CLEAN OUT MEASUREMENTS SHALL BE TAKEN FROM CENTERLINE OF MAIN TO CENTERLINE OF CLEAN OUT FOR FAN TRAP CONNECTIONS. A CLEAN OUT MAY BE REQUIRED FOR ANY ABRUPT CHANGE IN LATERAL DIRECTION.
- A 4" CLEAN OUT IS REQUIRED AT R.O.W. UNLESS THE MAIN SEWER IS UNDER THE PAVEMENT LIGHT OR AT FAN SIDE OF PAVEMENT.
- ANY SEWER LIFT THROUGH OR OVER A BUILDING FLOOR MUST BE CAST IRON (SEE PLAN FOR TRAP LOCATIONS).
- ANY DISCHARGE TO BE LEFT OPEN MUST BE PROTECTED BY A COVERED CHIMNEY IN TYPICAL OR INSIDE BUILDINGS IN TYPICAL OR INSIDE BUILDINGS. COVERED WITH STEEL PLATE.
- DOWN SPOUTS, BUMP PUMPS, AND DOWN SPOUTS ARE NOT PERMITTED TO BE CONNECTED TO THE LATERAL.
- NO DISCHARGE SHALL BE MADE UNTIL BUILDING FLOOR IS BRETTED AND SUBSIDENT FLOOR IS FLOORED.

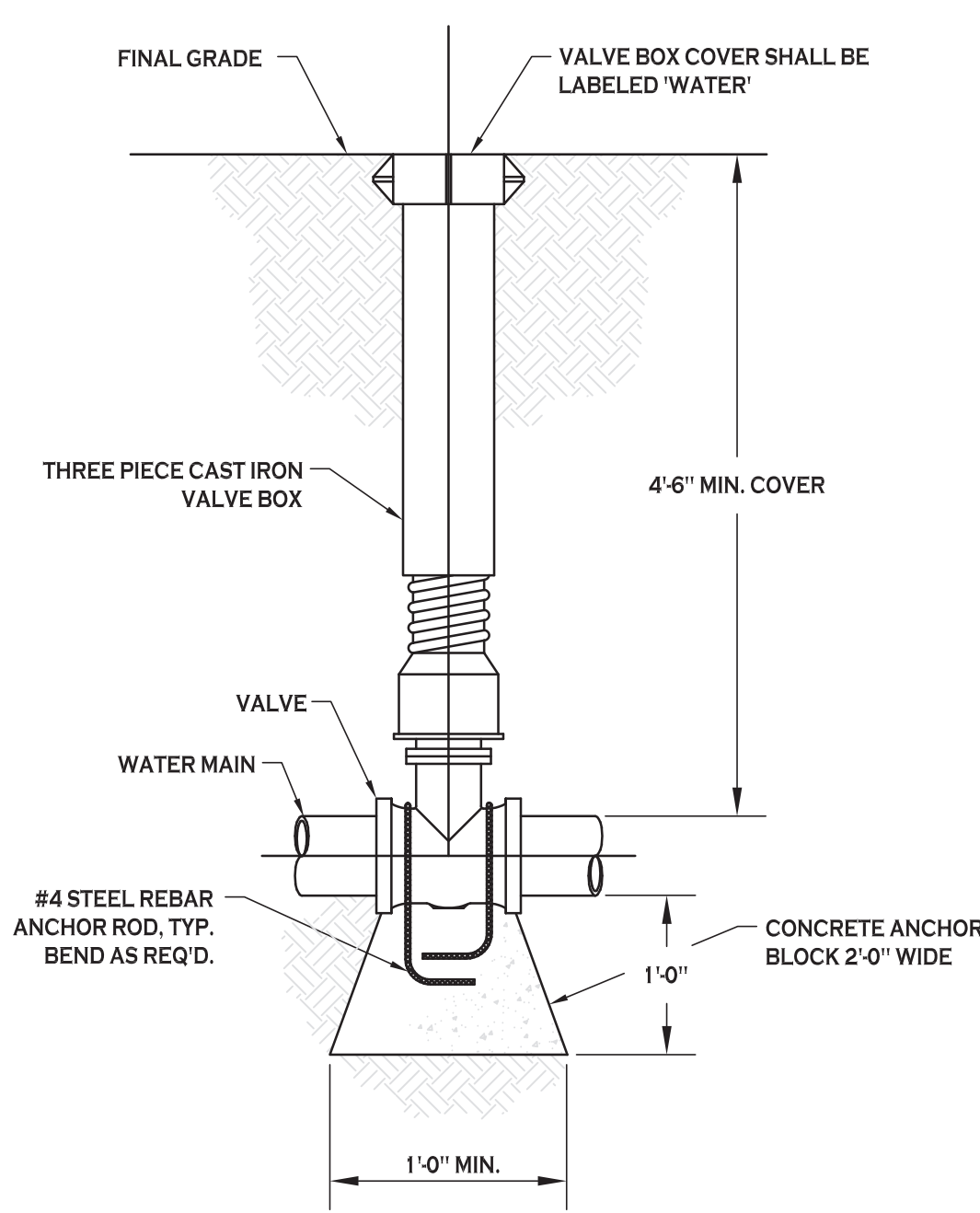
Rev. 4/08	ADDED NOTE 18 & CHANGED TYPE OF PIPE
Rev. 1/27	REVISED SEE TRAP & TRAP DETAIL
Rev. 11/08	ADDED SLEEVE AND PVC-SOR 35
Rev. 1/12	REVISED 6" CAST IRON TRAP NOTE
Rev. 1/18	ADDED VENT & TRAP

File: 4-22 Date: 3/1/01

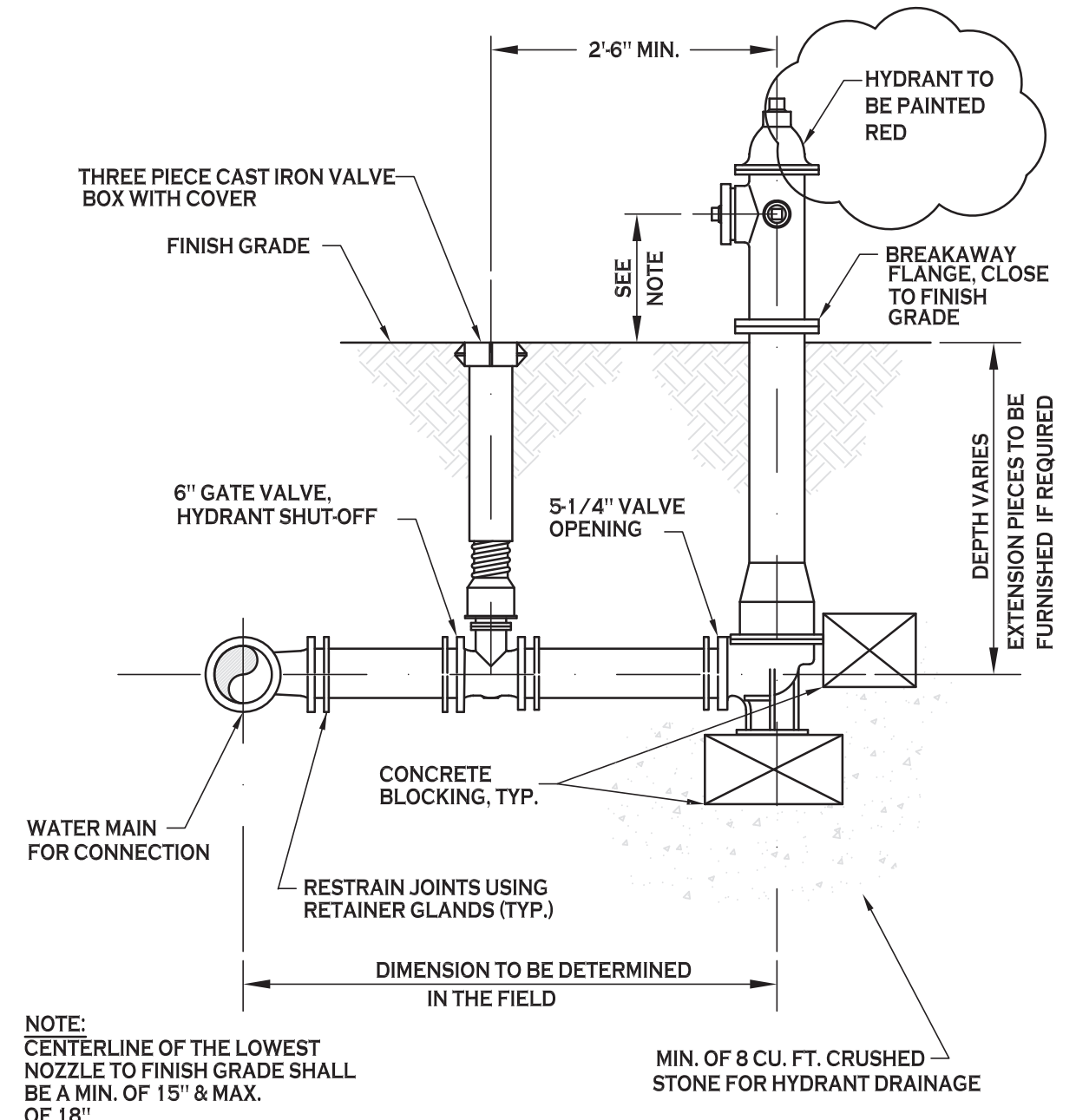
ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT

STD. DETAIL

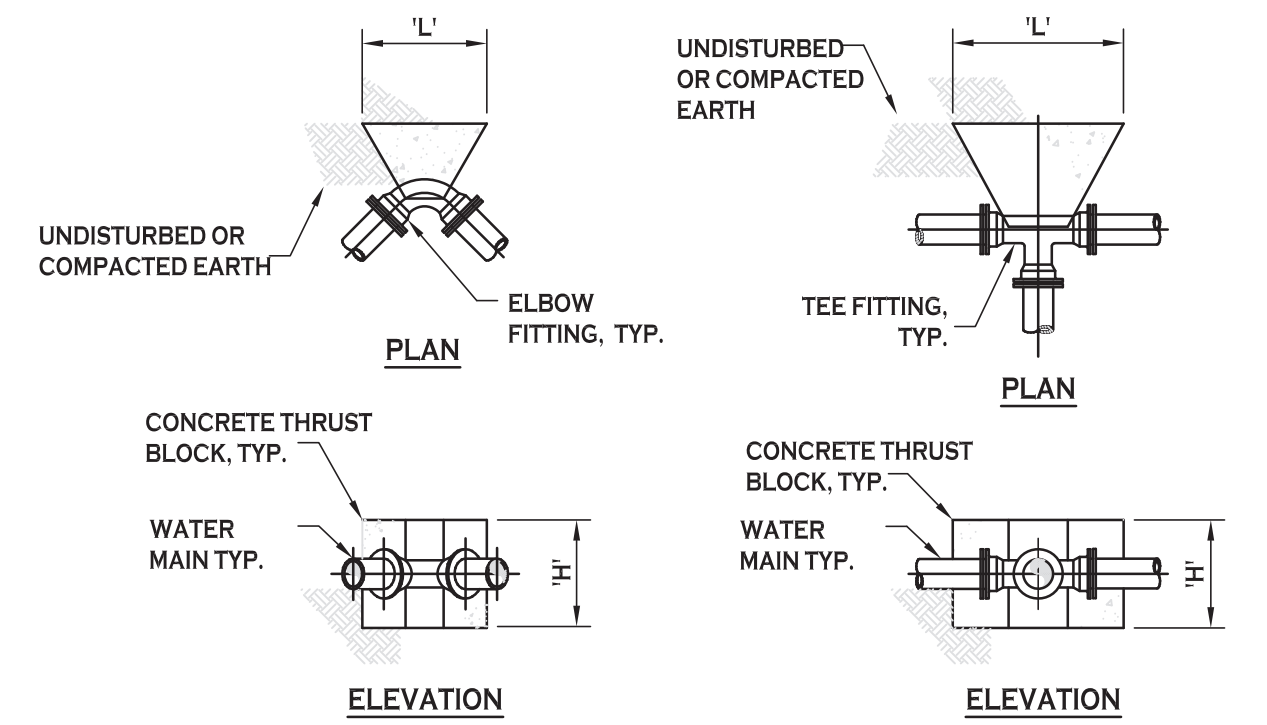
22



TYPICAL GATE VALVE DETAIL
NOT TO SCALE



TYPICAL FIRE HYDRANT ASSEMBLY DETAIL
NOT TO SCALE



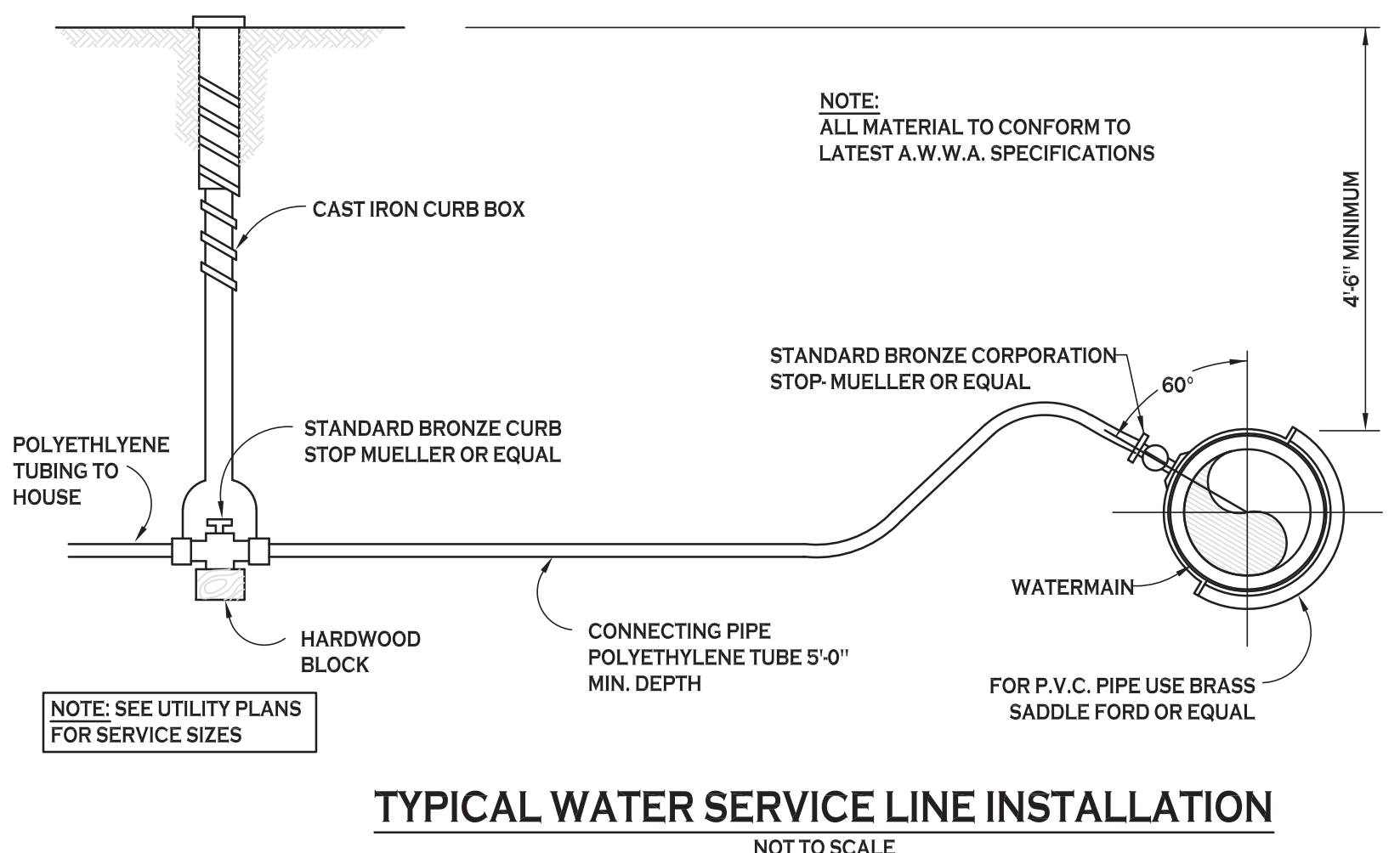
DIMENSION SCHEDULE

PIPE SIZE	90° ELBOW		45° ELBOW		22.5° ELBOW		11.25° ELBOW	
	'H'	'L'	'H'	'L'	'H'	'L'	'H'	'L'
4"	1.5'	2.0'	1.0'	2.0'	1.0'	1.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	2.0'	1.0'	1.5'	1.0'	1.5'
8"	2.5'	3.5'	2.0'	2.5'	1.5'	1.5'	1.0'	2.0'
10"	3.0'	4.5'	2.5'	3.0'	1.5'	3.0'	1.0'	2.5'
12"	3.5'	5.0'	3.0'	3.5'	2.5'	2.5'	1.5'	2.5'

DIMENSION SCHEDULE

PIPE SIZE	TEE OR TAP SLEEVE	
	'H'	'L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

THRUST BLOCK SCHEDULE



TYPICAL WATER SERVICE LINE INSTALLATION
NOT TO SCALE



Date: 2/10/21

REVISIONS: Description: Revised per Town comments



PROJECT NAME: New Construction

Drawn by: P. Sheedy

DRAWING NAME: Utility Details

DRAWING NO. C-401

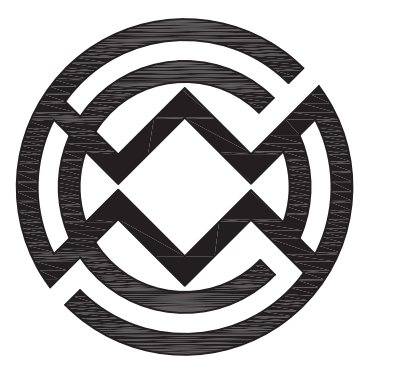
Project no.: 20.186

Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

Date: 1/11/21
Scale: As Noted

All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 7202N and 7301 of the New York State education law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© Carmina Wood Morris DPC



Carmina Wood Morris
 487 Main Street Suite 500
 Buffalo, New York 14203
 P 716.842.3165
 F 716.842.0263



REVISIONS:

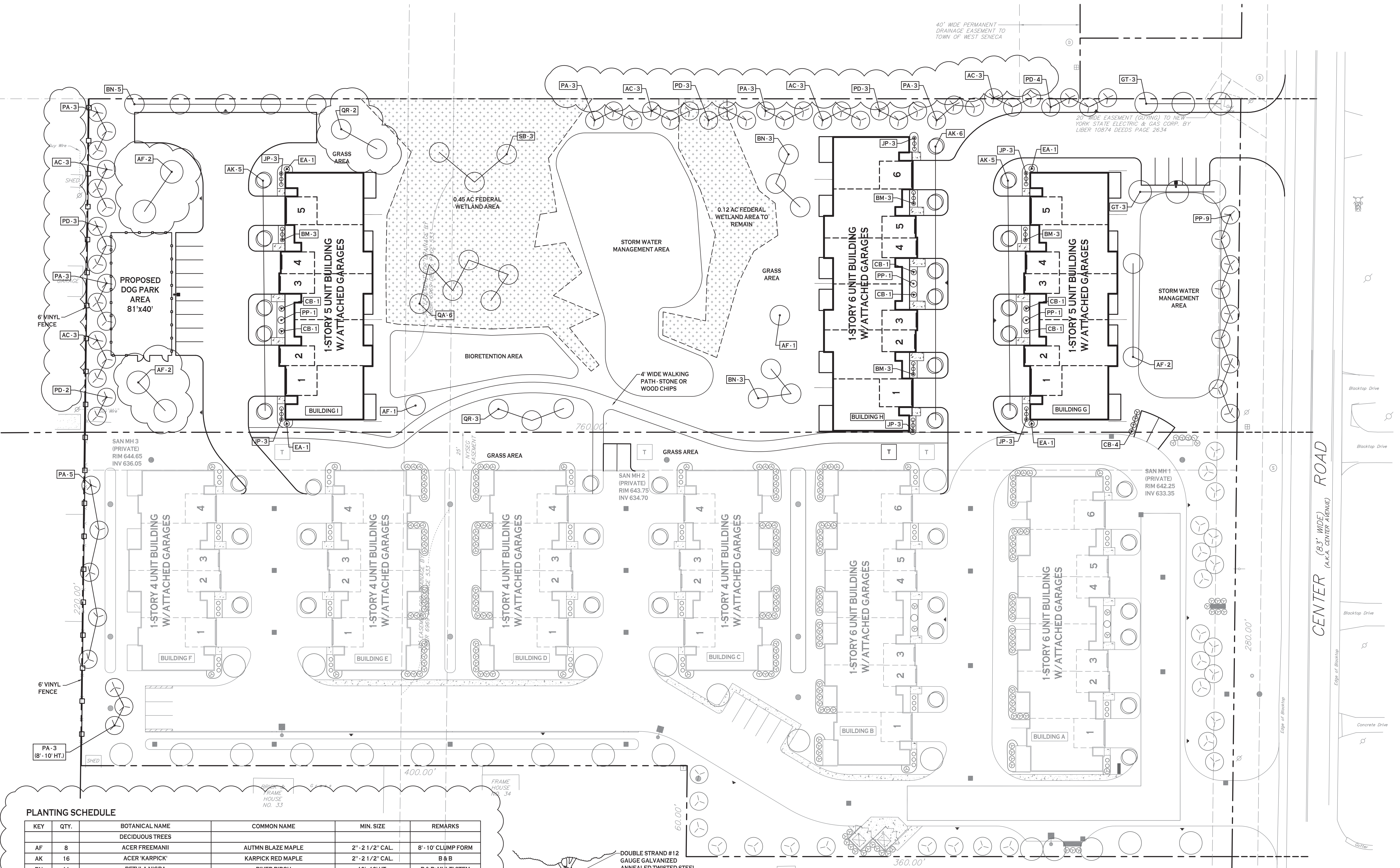
No.	Description	Date
1	Revised per Town comments	2/23/21

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
 945 & 965 Center Road
 West Seneca, New York

Date: 1/11/21
 Drawn by: P. Sheedy
 Scale: As Noted

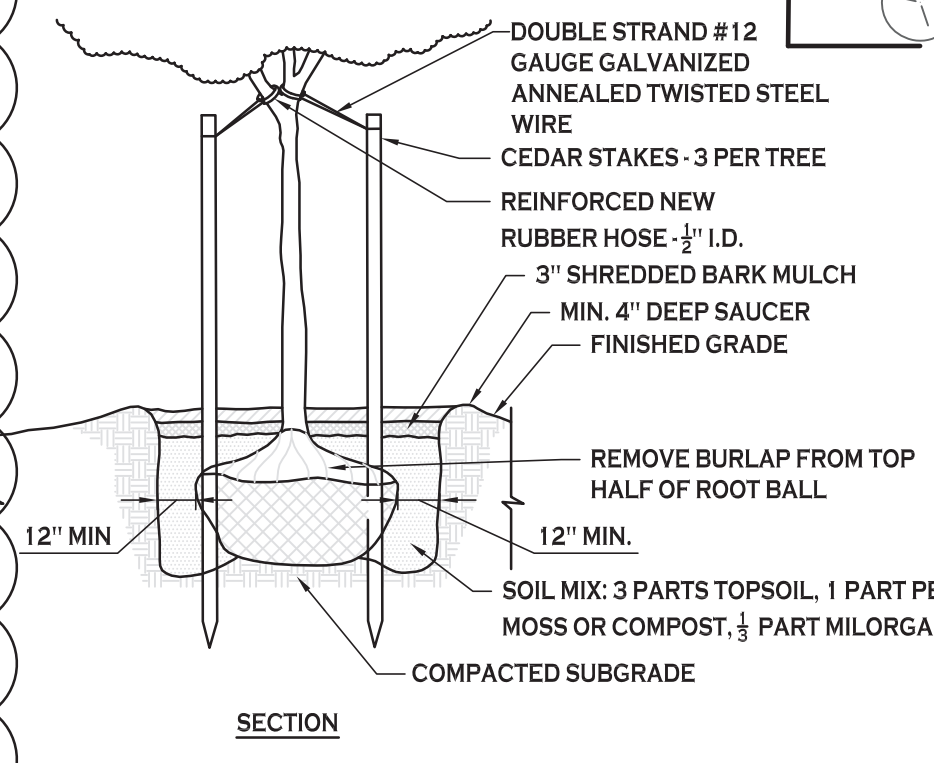
DRAWING NAME:
Landscape Plan

DRAWING NO.
L-100
 Project no.: 20.186

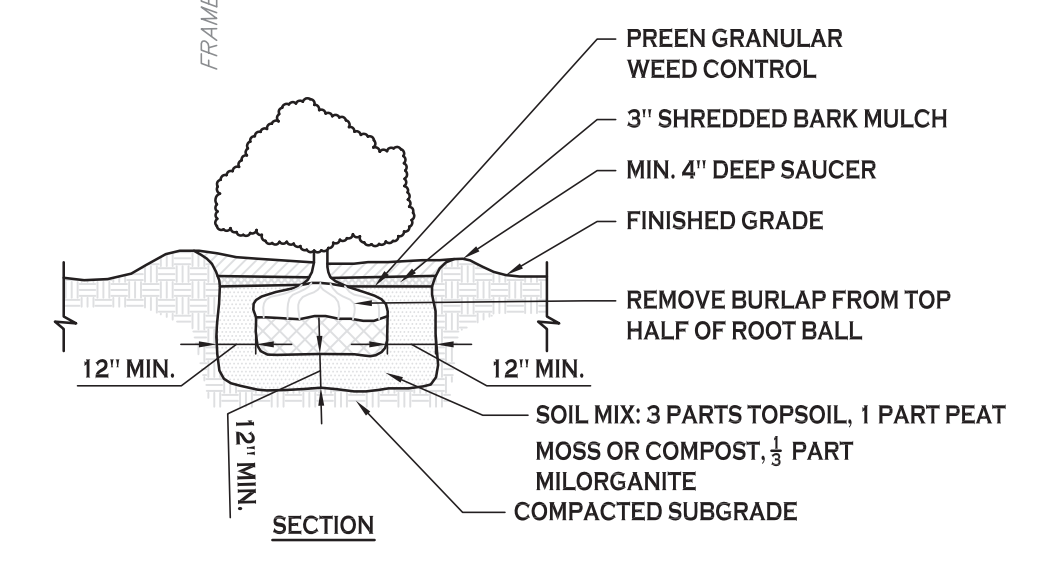


PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
DECIDUOUS TREES					
AF	8	ACER FREEMANII	AUTUMN BLAZE MAPLE	2" - 2 1/2" CAL.	8' - 10' CLUMP FORM
AK	16	ACER 'KARPICK'	KARPICK RED MAPLE	2" - 2 1/2" CAL.	B & B
BN	11	BETULA NIGRA	RIVER BIRCH	10' - 12' HT.	B & B; MULTI STEM
GT	6	GLEDITSIA TRIACANTHOS	SHADEMASTER LOCUST	2" - 2 1/2" CAL.	B & B
QA	6	QUERCUS ALBA	WHITE OAK	2" - 2 1/2" CAL.	B & B
QR	5	QUERCUS RUBRA	RED OAK	2" - 2 1/2" CAL.	B & B
SB	3	SALIX BABYLONICA	WHEEPING WILLOW	2" - 2 1/2" CAL.	B & B
EVERGREEN TREES					
AC	15	ABIES CONCOLOR	CONCOLOR FIR	6' - 7' HT.	FULL TO GROUND
PA	23	PICEA ABIES	NORWAY SPRUCE	6' - 7' HT.	FULL TO GROUND
PD	15	PICEA GLAUCUA VAR. DENSA	BLACK HILLS SPRUCE	6' - 7' HT.	FULL TO GROUND
PP	9	PICEA PUNGENS	COLORADO SPRUCE	6' - 7' HT.	FULL TO GROUND
SHRUBS					
BM	12	BUXUS MICROPHYLLA 'GOLDEN TRIUMPH'	GOLDEN TRIUMPH BOXWOOD	12" - 15"	
CB	6	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	24" HT.	
EA	4	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	18" - 24"	
JP	18	JUNIPERUS PFITZERIANA 'SEA GREEN'	SEA GREEN ROUND JUNIPER	15" - 18"	
PP	3	PICEA PUNGENS 'GLAUCUA GLOBOSA'	GLOBOSA SPRUCE	15" - 18"	



TREE PLANTING DETAIL
 NOT TO SCALE



SHRUB PLANTING DETAIL
 NOT TO SCALE

LANDSCAPE PLAN
 SCALE: 1"=30'

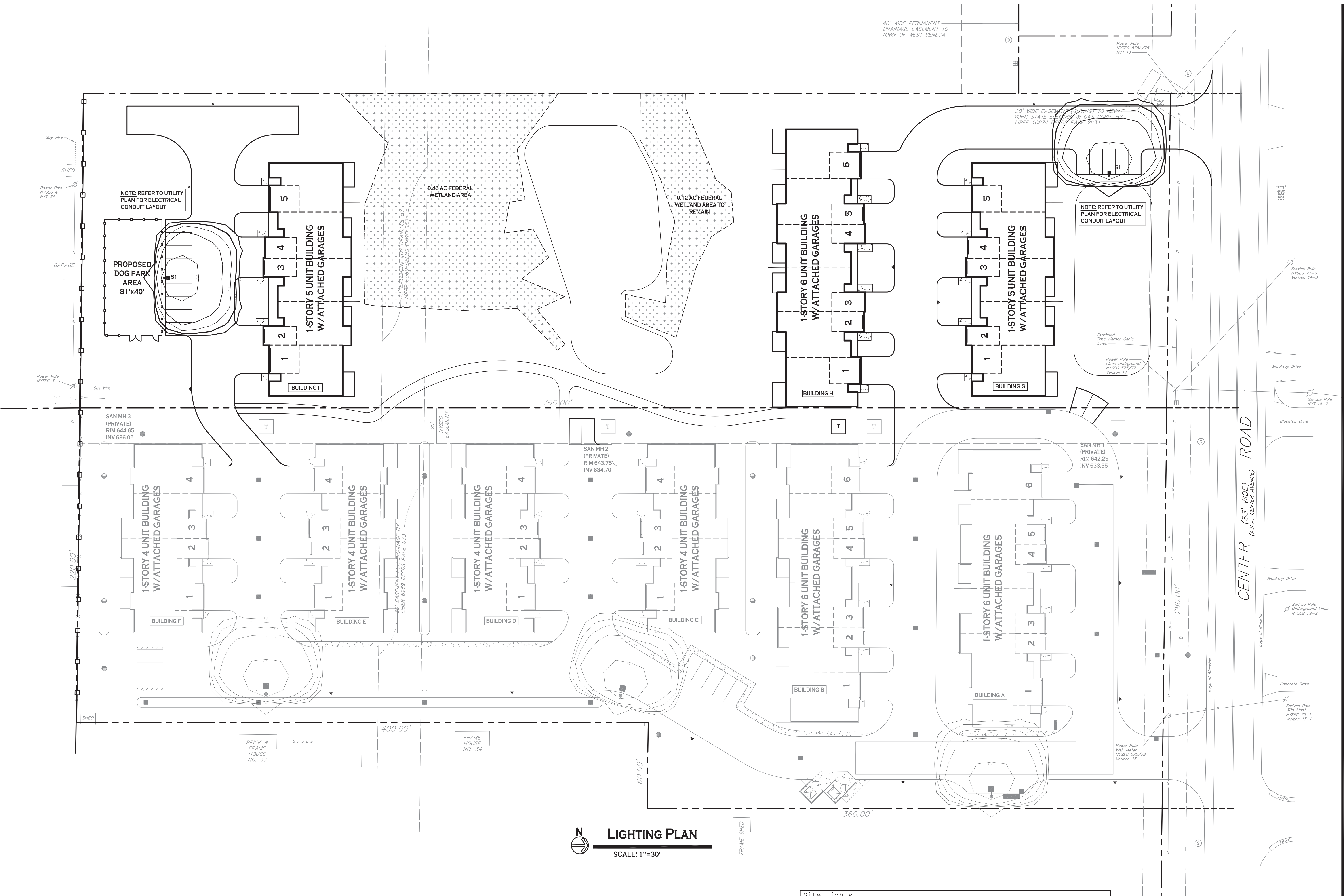
- PLANTING NOTES:**
- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
 - ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
 - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
 - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



All rights reserved. Reuse of these documents without the expressed written permission of Carmina Wood Morris DPC is prohibited. WARNING: It is violation of article 146 sections 7202N and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

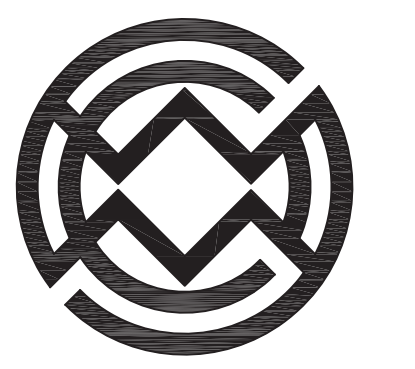
© Carmina Wood Morris DPC



LIGHTING PLAN
SCALE: 1"=30'

Site Lights
Parking Lot Lights (S1) - Gardco ECF-4-75LA-4853-NW-IS Pole mt @ 15'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Carmina Wood Morris
487 Main Street Suite 500
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263



REVISIONS:	No.	Description	Date

PROJECT NAME:
New Construction
Park Lane Villas North - Phase 2
945 & 965 Center Road
West Seneca, New York

Date: 1/11/21
Drawn by: P. Sheedy
Scale: As Noted

DRAWING NAME:
Lighting Plan

DRAWING NO.
LP-100
Project no.: 20.186