



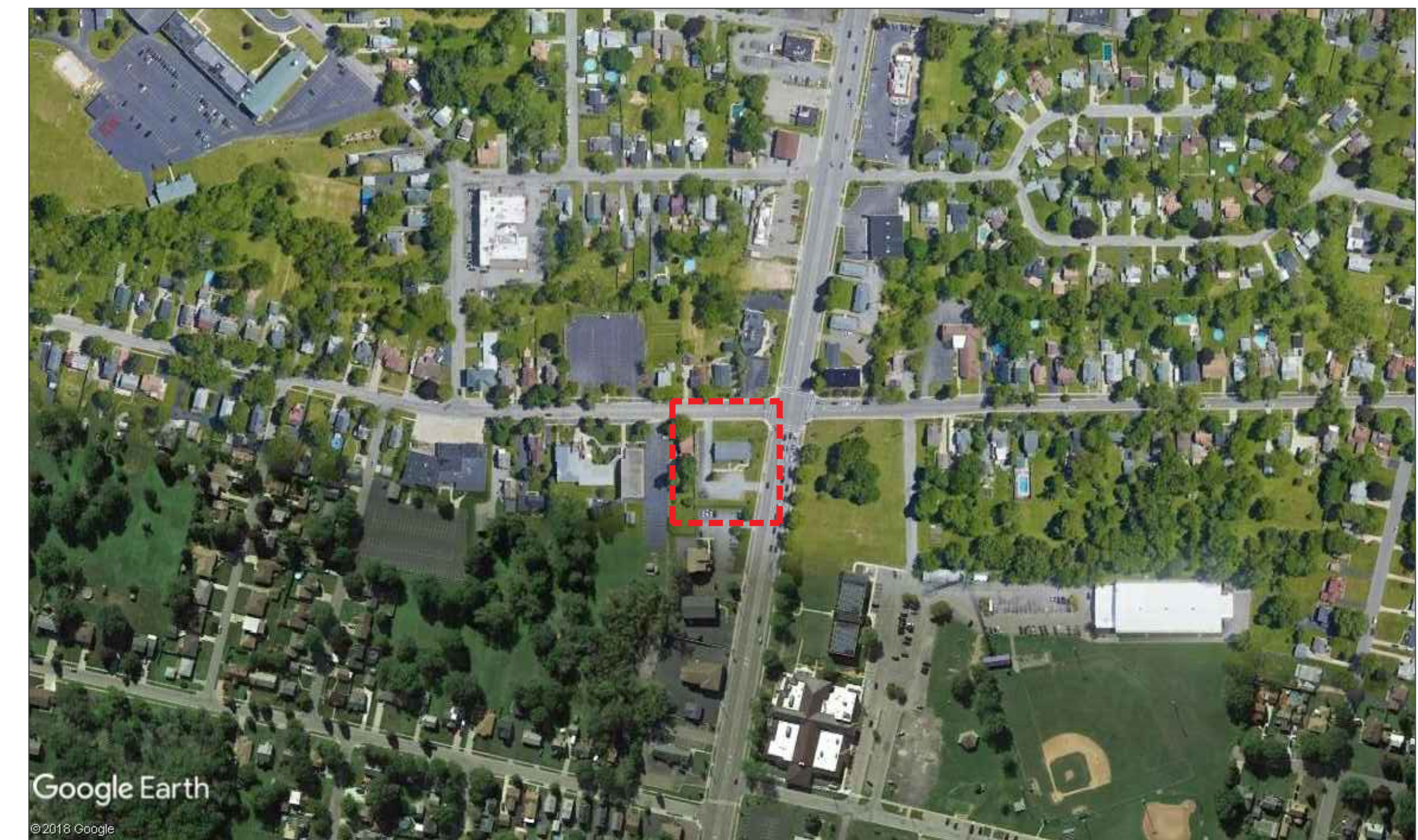
# WEST SENECA

## RELOCATION

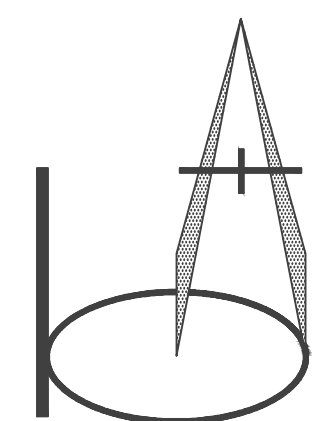
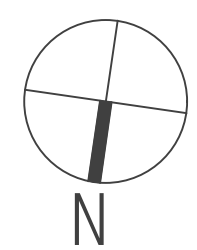
1251 Union Road  
West Seneca, NY 14224

12/19/2019      SITE PLAN REVIEW  
12/27/2019      REVISION 01  
01/28/2020      REVISION 02

BISBANO Project No.: 2018.93



LOCATION MAP



**BISBANO + ASSOCIATES, INC.**  
RISING SUN MILLS | 188 VALLEY ST., STE. 100 | PROVIDENCE, RI | 02909  
VOICE 401.404.8310      FAX 401.404.8311      WWW.BISBANO.COM

ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

ARCHITECT  
BISBANO + ASSOCIATES, INC.  
RISING SUN MILLS, 188 VALLEY STREET, STE. 100  
PROVIDENCE, RI 02909  
OFFICE: 401.404.8310  
CONTACT: BRUCE BISBANO

## ABBREVIATIONS

ACCES	ACCESSORY	INSTRUM	INSTRUMENT(ATION)
ACOUS	ACOUSTIC(AL)	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	INTLK	INTERLOCK(ING)
AL	ALUMINUM	INT	INTERIOR
ALT	ALTERNATE	INFILTR	INFILTRATION
ANNUNC	ANNUNCIATOR	JAN	JANITOR
ANOD	ANODIZED	KIT	KITCHEN
APPL	APPLIANCE	LAV	LAVATORY
ARCH	ARCHITECT(URAL)	LB	POUND
AUTO	AUTOMATIC	LT	LIGHT
AVG	AVERAGE	LVLG	LEVELING
&	AND	LVR	LOUVER
BLDG	BUILDING	MAX	MAXIMUM
BOLL	BOLLARD	MFD	MANUFACTURED
BD	BOARD	MFR	MANUFACTURER
BLKG	BLOCKING	MECH	MECHANICAL
BRDLM	BROADLOOM	MEMB	MEMBRANE
BU	BUILT UP	MEZZ	MEZZANINE
CAB	CABINET	MIN	MINIMUM
CPT	CARPET	MISC	MISCELLANEOUS
CEM	CEMENT(TIOUS)	MLWK	MILLWORK
CER	CERAMIC	MOT	MOTOR(IZED)
CLG	CEILING	MTD	MOUNTED
COATG	COATING	NIC	NOT IN CONTRACT
CONC	CONCRETE	NO	NUMBER
CONSTR	CONSTRUCTION	NTS	NOT TO SCALE
CONT	CONTINUOUS(ATION)	OVFL	OVERFLOW
CONTR	CONTRACT(OR)	OVHD	OVERHEAD
COV	COVER	OPNG	OPENING(S)
CMU	CONCRETE MASONRY UNIT	OPR	OPERABLE
CFMF	COLD FORMED METAL FRAMING	PTN	PARTITION BOARD
DBL	DOUBLE	PBD	PARTICLE BOARD
DEPT	DEPARTMENT	PNL	PANEL
DES	DESIGN(ED)	POLYST	POLYSTYRENE
DET	DETAIL	PORT	PORTABLE
DF	DRINKING FOUNTAIN	PREFIN	PREFINISHED
DIA	DIAMETER	PREFAB	PREFABRICATED
DIFF	DIFFUSER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLAS	PLASTER
DISP	DISPENSER	PLSTC	PLASTIC
DIV	DIVISION	PLYWD	PLYWOOD
DN	DOWN	RDR	READER
DR	DOOR	RECES	RECESSED
DSCON	DISCONNECT	RECP	RECEPTACLE
DWR	DRAWER	REF	REFLECT(ED)
ELAST	ELASTOMERIC	REFL	REFLECTED
ELEC	ELECTRICAL	REFR	REFRIGERATOR
EMBED	EMBEDD(ED)(ING)	REQD	REQUIRED
ENGR	ENGINEER(ED)	RESIS	RESIST(ANT)(IVE)
ENTR	ENTRANCE	REINF	REINFORCE(D)(ING)(MENT)
EQ	EQUAL	RESIL	RESILIENT
EQUIP	EQUIPMENT	RFC	ROOFING
EXIST	EXISTING	RM	ROOM
EXP JT	EXPANSION JOINT	RO	ROUGH OPENING
EXPS	EXPOSE(D)	SCR	SCRIBE
EXT	EXTERIOR	SECUR	SECURITY
FAB	FABRICATION	SF	SQUARE FEET
FD	FLOOR DRAIN	SGL	SINGLE
FE	FIRE EXTINGUISHER	SIM	SIMILAR
FE&C	FIRE EXTINGUISHER AND CABINET	SST	STAINLESS STEEL
FHC	FIRE HOSE CABINET	STD	STANDARD
FIN	FINISH	STL	STEEL
FLDG	FOLDING	STRFR	STOREFRONT
FPLC	FIREPLACE	STRUCT	STRUCTURAL
FR	FIRE RAT(ING)(ED)	SURF	SURFACE
FRMG	FRAMING	SUSP	SUSPENDED
FXD	FIXED	SYS	SYSTEM(S)
FXTR	FIXTURE	THK	THICK
FLR	FLOOR(ING)	TLT	TOILET
FURN	FURNITURE	TRAN	TRANSPARENT
FUT	FUTURE	TRTD	TREATED
FWC	FABRIC WALL COVERING	T&G	TONGUE AND GROOVE
GA	GAUGE	TYP	TYPICAL
GFRG	GLASS FIBER REINFORCED CONCRETE	UNDRLAY	UNDERLAYMENT
GFRG	GLASS FIBER REINFORCED GYPSUM	UTIL	UTILITY
GFRP	GLASS FIBER REINFORCED PLASTER	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VERT	VERTICAL
GR	GRAD(E)(ING)	VIF	VERIFY IN FIELD
GYP	GYPSUM	W/	WITH
HD	HEAD	WC	WATER CLOSET
HDWD	HARDWOOD	WD	WOOD
HDWE	HARDWARE	WDW	WINDOW
HM	HOLLOW METAL	W/O	WITHOUT
HORIZ	HORIZONTAL	WT	WEIGHT
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WTRPRF	WATERPROOFING
INFO	INFORMATION		

## MATERIALS

	ALUMINUM		BATT INSULATION
	CONCRETE		PRECAST
	GLASS		GRAVEL
	RIGID INSULATION		SAND
	BRICK IN SECTION		SOLID WOOD
	CONCRETE MASONRY UNIT		PLYWOOD
	EARTH		BRICK
	GYPSUM/PLASTER		CULTURED STONE
	STEEL		WOOD BLOCKING
	PEA GRAVEL		WOOD SHIM
	STONE		

## SYMBOLS LEGEND

	EXTERIOR ELEVATION INDICATION		A01.01 SHEET NUMBER
	INTERIOR ELEVATION INDICATION		N
	DETAIL NUMBER		OFFICE 04F06
	DIRECTION OF SECTION/ELEVATION		DOOR NUMBER (WITH SCHEDULE)
	COLUMN GRID		ALIGN WITH ESTABLISHED SURFACES
	NEW PARTITION		SHEET NOTE
	REFERENCE TO PARTITION TYPE		MILLWORK SCHEDULE TAG (IF USED)
	ELEVATION DATUM POINT		FIRE EXTINGUISHER WITHOUT CABINET
	FIRE EXTINGUISHER CABINET		

## DRAWING INDEX

ARCHITECTURAL	
A00.00	NOTES, ABBREVIATIONS, LEGENDS & DRAWING INDEX
A01.01	EXISTING SITE CONTEXT PLAN
A01.02	PROPOSED SITE CONTEXT PLAN
A02.01	SITE DEMOLITION PLAN
A02.02	SITE CONSTRUCTION PLAN
A02.04	PROPOSED LANDSCAPE PLAN
A02.05	SITE TOPOGRAPHY DEMOLITION PLAN
A02.06	SITE TOPOGRAPHY CONSTRUCTION PLAN
A12.01	SITE DETAILS
A12.02	REMOTE ATM ISLAND DETAILS
A12.03	LANDSCAPE DETAILS

## BUILDING CODE INFORMATION

PROJECT: CITIZENS BANK - West Seneca, NY  
LOCATION: 1251 Union Road  
FLOORS: 1

### BUILDING OVERVIEW

#### APPLICABLE CODES

Zoning	-
Building Code	State/County Level Code Amendments ICC International Building Code (IBC), 2015
Uniform Fire Code	ICC International Fire Code (IFC), 2015
Life Safety Code	-
Accessibility	State/County Level Code Amendments ICC/ANSI A117.1-2009 2010 ADA Standards for Accessible Design
Electrical	State/County Level Code Amendments National Electrical Code, 2014
Mechanical	ICC International Mechanical Code (IFC), 2015
Plumbing	ICC International Plumbing Code (IPC), 2015
Energy Conservation	ICC International Energy Conservation Code (IECC), 2015

## BUILDING CODE ANALYSIS

This analysis was performed using the below listed code requirements with any associated amendments as per the state of New York.

### BUILDING SIZE: (SQUARE FOOTAGE)

Tenant Space: Total SF	3,325
Occupancy Load: Business area	100 gross sf/occupant. 3,325 / 100 = 33 Occupants.
Egress Width:	Egress Components 0.2' per occupant (33 x 0.2' = 6.6') 36" min provided.
Number of Exits:	2 Provided
Travel Distance:	Maximum Allowable: 200 ft. (Sprinklered), 100 ft. (Non-sprinklered) Provided:
Common Path of Travel:	Maximum Allowable: 75 ft. Provided:

### CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

302.1 Occupancy and Use Refer to Section 304-Business Occupancies.  
The Tenant space will be occupied as a Business Use (Use Group B)

### BUILDING ELEMENTS AND MATERIALS

All interior construction & finishes will be provided as per the requirements of Sections 602 & 703, respectively.

### FIRE PROTECTION

The proposed fit-out will meet and/or exceed all fire protection requirements as outlined in Chapter 9.

### MEANS OF EGRESS

The proposed fit-out will meet and/or exceed all egress requirements as outlined in Chapter 10.

### ACCESSIBILITY

All work performed will comply with the below listed accessibility guidelines.

### ELECTRICAL

All work performed will comply with the below listed electrical code(s).

### MECHANICAL

All work performed will comply with the below listed mechanical code(s).

### STRUCTURAL

No impact to structural items through proposed interior fit-out.

### ENERGY CONSERVATION

All work performed will comply with the below listed energy conservation code(s).

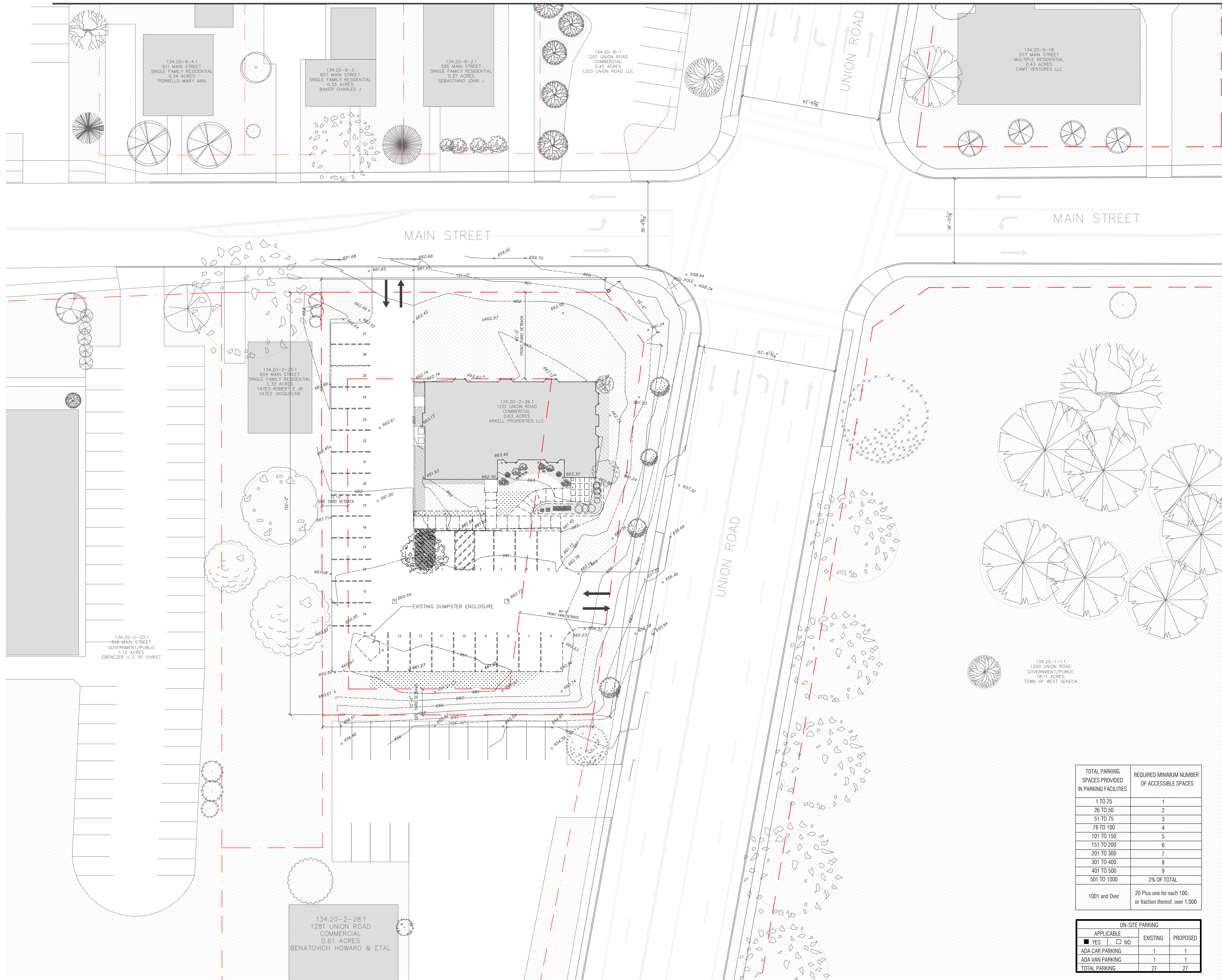


WEST SENECA  
1251 Union Road  
West Seneca, New York  
14224

## NOTES, ABBREVIATIONS, LEGENDS & DRAWING INDEX

ISSUE TYPE: SITE PLAN REVIEW	REVISED: REVISION 01 12/27/2019 REVISION 02 01/28/2020
ISSUE DATE: 12/19/2019	
DRAWN BY: RS SB EXD	

SCALE: N/A	BAC PROJECT NO: 2018.93
A00.00	



134.20-8-4-1  
611 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.34 ACRES  
PERRELLO MARY ANN

134.20-8-3  
607 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.33 ACRES  
BAKER CHARLES J

134.20-8-2-1  
595 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.37 ACRES  
SEBASTIANO JOHN J

134.20-8-1  
1201 UNION ROAD  
COMMERCIAL  
0.45 ACRES  
1203 UNION ROAD LLC

134.20-9-18  
877 MAIN STREET  
MULTIPLE RESIDENTIAL  
0.43 ACRES  
CAMT VENTURES LLC

134.20-2-25-1  
604 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.32 ACRES  
YATES ROBERT E JR  
YATES JACQUELINE

134.20-2-26.1  
1251 UNION ROAD  
COMMERCIAL  
0.63 ACRES  
ARKELL PROPERTIES LLC

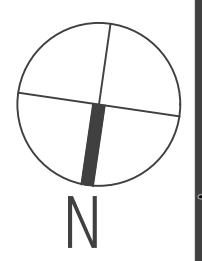
134.20-2-23.1  
616 MAIN STREET  
GOVERNMENT/PUBLIC  
1.12 ACRES  
EBENEZER U.C OF CHRIST

134.20-1-1.1  
1260 UNION ROAD  
GOVERNMENT/PUBLIC  
18.11 ACRES  
TOWN OF WEST SENECA

134.20-2-28.1  
1281 UNION ROAD  
COMMERCIAL  
0.61 ACRES  
BENATOVICH HOWARD & ETAL

TOTAL PARKING SPACES PROVIDED IN PARKING FACILITIES	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 and Over	20 Plus one for each 100, or fraction thereof, over 1,000

ON-SITE PARKING			
APPLICABLE	YES	NO	
ADA CAR PARKING	1	1	
ADA VAN PARKING	1	1	
TOTAL PARKING	27	27	



EXISTING SITE CONTEXT PLAN

ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

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1251 Union Road  
West Seneca, New York  
14224

EXISTING SITE CONTEXT PLAN

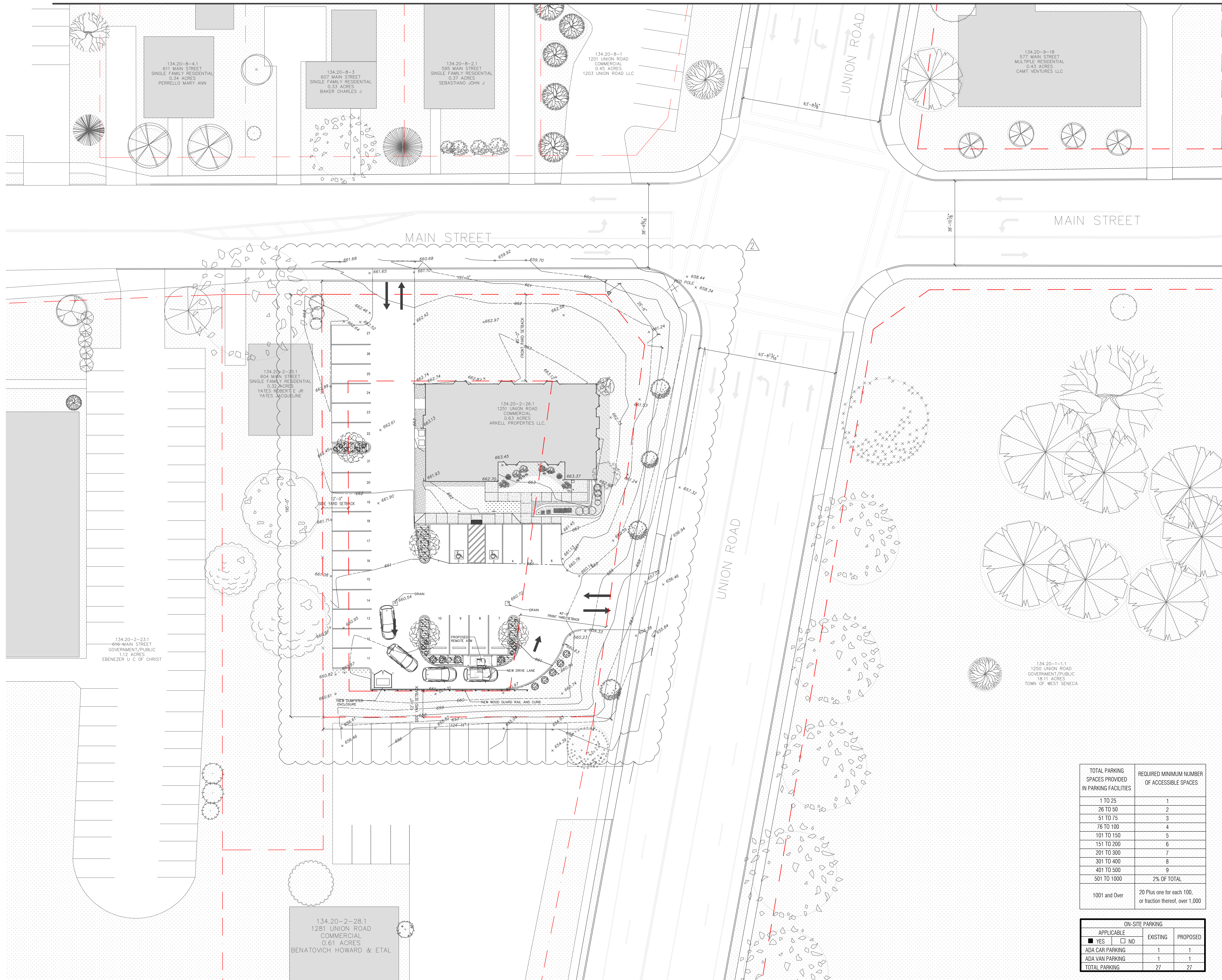
ISSUE TYPE: SITE PLAN REVIEW  
ISSUE DATE: 12/19/2019  
DRAWN BY: RS, SB, EKD

REVISED: REVISION 01 12/27/2019  
REVISION 02 01/28/2020



SCALE: 1/16" = 1'-0"  
B+A PROJECT NO: 2018.93

A01.01



PROPOSED SITE CONTEXT PLAN

TOTAL PARKING SPACES PROVIDED IN PARKING FACILITIES	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 and Over	20 Plus one for each 100, or fraction thereof, over 1,000

ON-SITE PARKING			
APPLICABLE	EXISTING	PROPOSED	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
ADA CAR PARKING	1	1	
ADA VAN PARKING	1	1	
TOTAL PARKING	27	27	



ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
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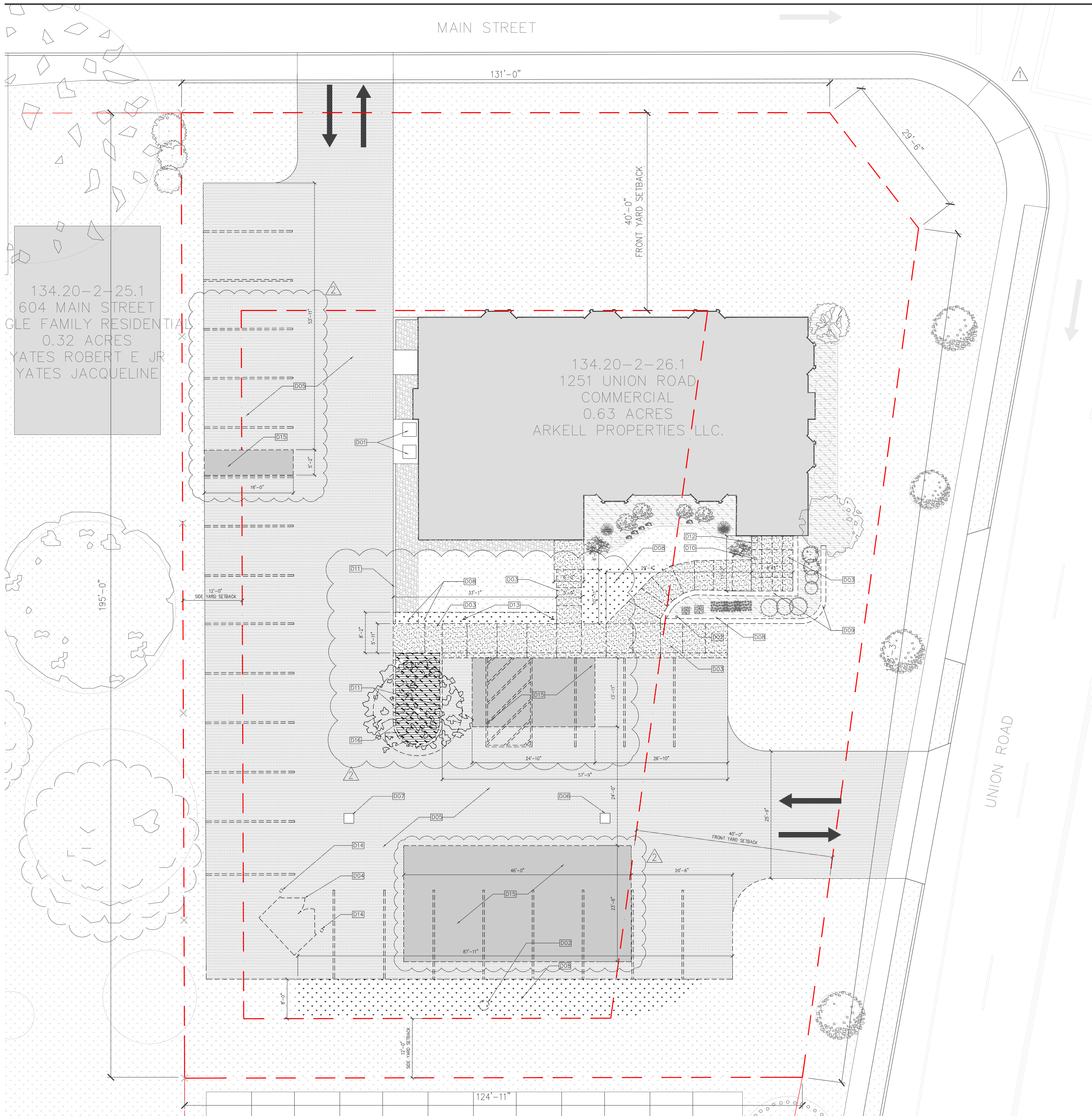
PROPOSED SITE CONTEXT PLAN

ISSUE TYPE: SITE PLAN REVIEW  
ISSUE DATE: 12/19/2019  
DRAWN BY: RS, SB, EKD

REVISED: REVISION 01 12/27/2019  
REVISION 02 01/28/2020

SCALE: 1/16" = 1'-0"  
B+A PROJECT NO: 2018.93

**A01.02**



### DEMOLITION KEYNOTES

- D01 EXISTING CONDENSING UNIT TO BE REMAIN.
- D02 EXISTING EXTERIOR LIGHTING TO BE REMOVED AND POWER TO BE ADJUSTED TO NEW LOCATION.
- D03 REMOVE EXISTING CONCRETE SIDEWALK DOWN TO SUB-BASE.
- D04 EXISTING DUMPSTER AREA TO BE RELOCATED.
- D05 MILL EXISTING ASPHALT PAVING AS NEEDED.
- D06 EXISTING DRAIN LOCATION & GRADE TO REMAIN.
- D07 EXISTING COLLAPSED DRAIN TO BE REPAIRED AT EXISTING ELEVATION.
- D08 EXISTING LANDSCAPE TO BE REMOVED.
- D09 EXISTING RETAINING WALL TO BE REMOVED AND BLOCKS SALVAGED FOR RE-USE.
- D10 EXISTING DOOR OPERATOR BUTTON AND POST TO REMAIN. SAWCUT CONCRETE AROUND POST.
- D11 EXISTING CONCRETE CURBING TO REMAIN. ALL DILAPIDATED AND DAMAGED CURBING TO BE REPLACED TO MATCH EXISTING AS REQUIRED.
- D12 REMOVE TRASH CAN AND SALVAGE TO BE RELOCATED IN SAME LOCATION.
- D13 REMOVE EXISTING ACCESSIBLE PARKING SIGNS AND POSTS.
- D14 REMOVE EXISTING CONCRETE BOLLARDS AT DUMPSTER ENCLOSURE.
- D15 REMOVE EXISTING ASPHALT PAVING AND BASE UNDERNEATH
- D16 REMOVE EXISTING TREE IN ISLAND. EVALUATE INTEGRITY OF ROOT STRUCTURE AND ABILITY TO TRANSPLANT. SALVAGE FOR RE-USE IF HEALTHY.

### LEGEND

- - - - - ITEM/AREA TO BE REMOVED
- [Hatched Box] EXISTING BUILDING FOOTPRINT
- [Dotted Box] EXISTING LANDSCAPED AREA
- SITE PROPERTY LINE / SETBACK
- [Cloud with Dotted Box] EXISTING ASPHALT TO BE MILLED
- [Cloud with Hatched Box] EXISTING CONCRETE TO BE REMOVED
- [Cloud with Dotted Box] EXISTING LANDSCAPED TO BE REMOVED
- [Cloud with Hatched Box] EXISTING ASPHALT TO BE REMOVED

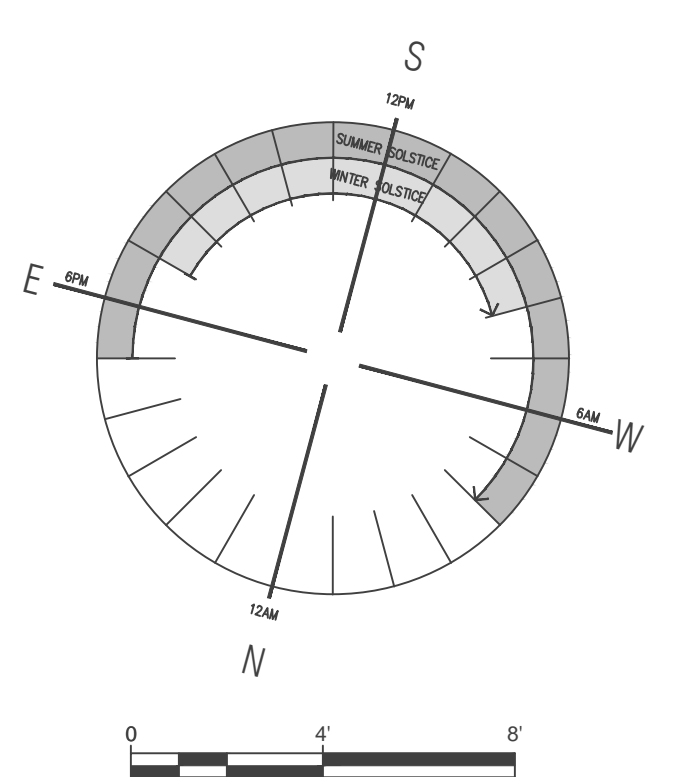
### SITE INFO

ACREAGE: 0.63 ACRES  
PLAT #: 134.20-2-2.1

TOTAL PARKING SPACES PROVIDED IN PARKING FACILITIES	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 and Over	20 Plus one for each 100, or fraction thereof, over 1,000

APPLICABLE	ON-SITE PARKING	
	EXISTING	PROPOSED
ADA CAR PARKING	1	1
ADA VAN PARKING	1	1
<b>TOTAL PARKING</b>	<b>27</b>	<b>27</b>

- GENERAL NOTES:
- WHERE REMOVAL OCCURS ALL SURFACES SHALL BE PATCHED BACK TO MATCH EXISTING.



### SITE DEMOLITION PLAN

ARCHITECTURE  
INTERIOR ARCHITECTURE  
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### SITE DEMOLITION PLAN

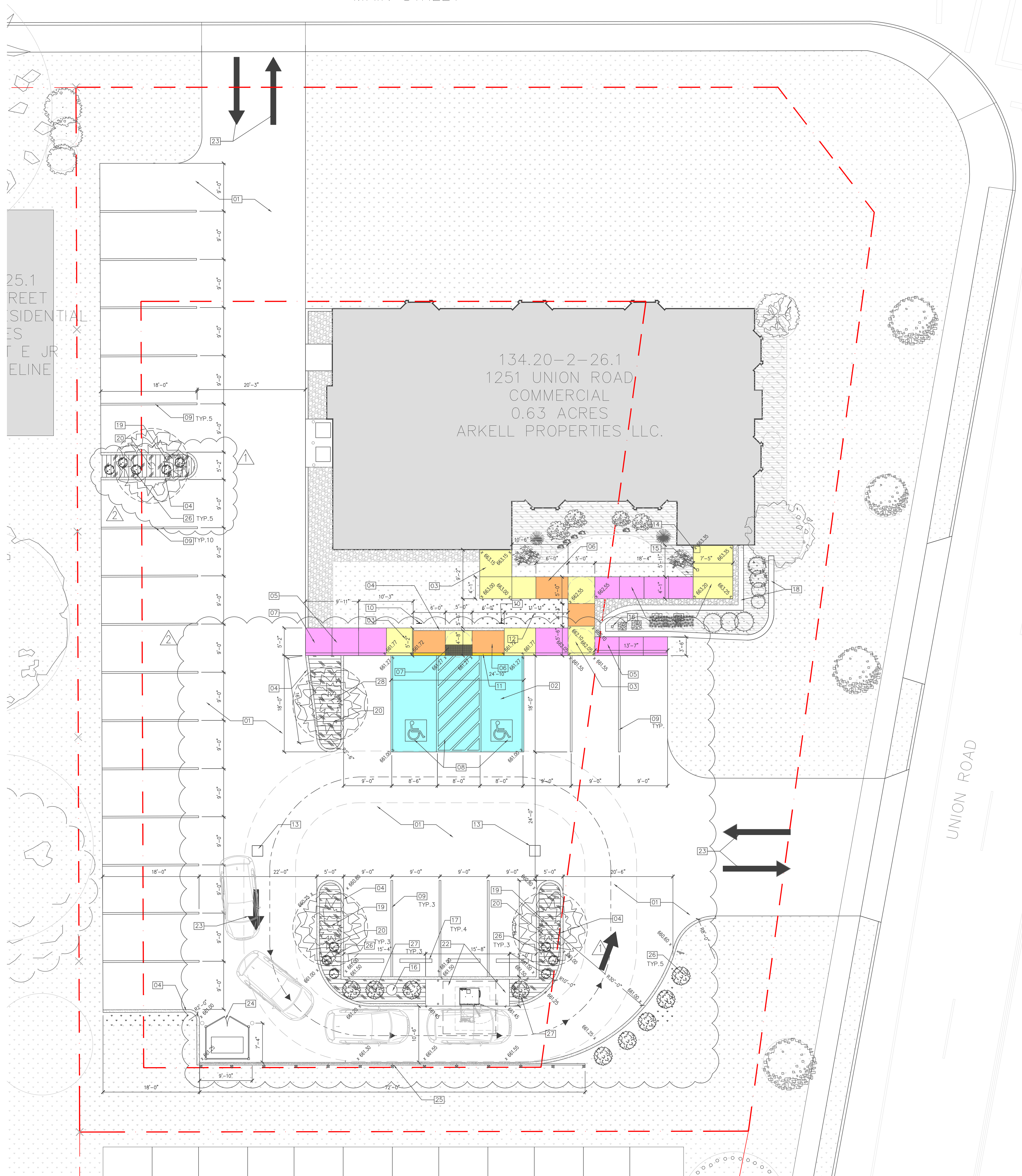
ISSUE TYPE: SITE PLAN REVIEW	REVISED: REVISION 01 12/27/2019 REVISION 02 01/28/2020
ISSUE DATE: 12/19/2019	
DRAWN BY: EKD SB	

SCALE:  
1/8" = 1'-0"

B+A PROJECT NO:  
2018.93

**A02.01**

MAIN STREET



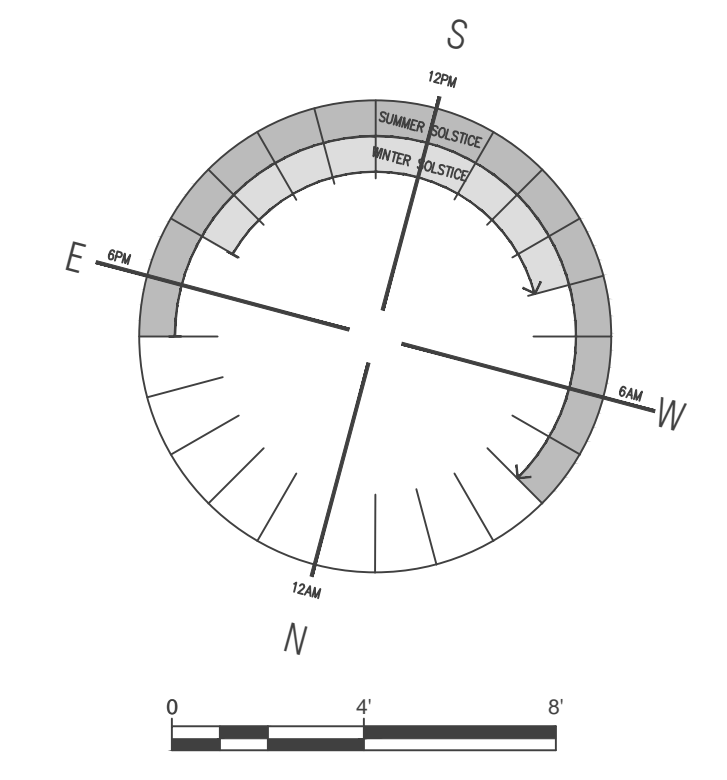
TAGS	DESCRIPTION	MANUFACTURER	MODEL NO./COLOR/FINISH	REMARKS
PS-1	PARKING SIGN	-	MODEL: R7-B FEDERAL HANDICAPPED METAL POST RESERVED PARKING SIGN DIMENSIONS: 12" X 18"	• SIGN TO BE MOUNTED ON 2" METAL POST • ONE SIGN PER ACCESSIBLE SPACE
PS-2	PARKING SIGN	-	MODEL: R7-BMOD FEDERAL HANDICAP PARKING VAN ACCESSIBLE SIGN DIMENSIONS: 12" X 18"	• SIGN TO BE MOUNTED ON 2" METAL POST • ONE SIGN PER ACCESSIBLE SPACE
PS-3	PARKING SIGN	-	MODEL: R7-BF STATE HANDICAP PARKING SUPPLEMENTAL FINE SIGN DIMENSIONS: 12" X 18"	• SIGN TO BE MOUNTED ON 2" METAL POST • ONE SIGN PER ACCESSIBLE SPACE
DS-1	DETECTABLE SURFACE	ADA SOLUTIONS, INC.	MODEL: CAST-IN-PLACE (WET-SET) TACTILE FINISH: SITE BY SITE BASIS DIMENSIONS: SITE BY SITE BASIS	• MATCH TO EXISTING CONDITIONS WHEN APPLICABLE.
B-2	BOLLARDS	INNOPLAST	MODEL: GPKONGBOLLARDFX48KIT DESCRIPTION: 48" NON-MAGNETIC FIXED BASE BOLLARD SYSTEM COLOR: TAN - 4" X 52" BOLLARDGARD SIZE: 4" DIAMETER WITH 8" X 8" BASE REFLECTIVE STRIPES: WHITE	• USE WHEN ADVISED BY CFG

- ### KEYNOTES
- PROVIDE NEW ASPHALT PAVING. SLOPES TO FOLLOW EXISTING DRAINAGE FLOW. (SEE DETAIL 1/A12.01)
  - PROVIDE NEW CONCRETE PAVING IN ACCESSIBLE PARKING STALLS AND ACCESS AISLE. SLOPE NOT TO EXCEED 1.5% IN ANY DIRECTION. (SEE DETAIL 2/A12.01)
  - PROVIDE NEW CONCRETE SIDEWALK/LANDING. SLOPE NOT TO EXCEED 1.5% IN ANY DIRECTION. (SEE DETAILS 7,8,11/A12.01)
  - PROVIDE NEW CONCRETE CURB. (SEE DETAILS 5,6/A12.01)
  - PROVIDE SLOPED SIDEWALK. SLOPE NOT TO EXCEED 4.5%. CROSS-SLOPE NOT TO EXCEED 1.5% (SEE DETAILS 7,8,11/A12.01)
  - PROVIDE NEW CONCRETE RAMP. SLOPE NOT TO EXCEED 8.3%. CROSS-SLOPE NOT TO EXCEED 1.5%. (SEE DETAILS 4,7,8,11/A12.01)
  - PROVIDE NEW DETECTABLE WARNING SURFACE. (SEE DETAILS 17,18/A12.01)
  - PROVIDE ADA PARKING SYMBOL AND ACCESS AISLE STRIPING IN BLUE EXTERIOR GRADE PAINT. (SEE DETAILS 9,10/A12.01)
  - PROVIDE NEW PARKING STALL STRIPING IN WHITE EXTERIOR GRADE PAINT.
  - PROVIDE NEW ADA PARKING SIGNAGE. (SEE DETAILS 12,13,14/A12.01)
  - PAINT CONCRETE CURB WITH YELLOW CAUTION PAINT WHERE CURBS ARE LESS THAN 4" IN HEIGHT.
  - PROVIDE AND PATCH EXISTING LANDSCAPE. PROVIDE NEW GRASS TO MATCH EXISTING AREA SHOWN AS HATCHED.
  - EXISTING DRAIN TO REMAIN. SLOPE NEW ASPHALT TOWARDS DRAIN. (SEE A02.06 FOR DETAILS)
  - REINSTALL EXISTING TRASH CAN IN NEW LOCATION
  - EXISTING AUTOMATIC DOOR OPERATOR BUTTON AND POST
  - REINSTALL SALVAGED EXTERIOR LIGHT POLE AND BASE AT NEW LOCATION
  - PROVIDE NEW PRE-CAST CONCRETE WHEEL STOP. SEE DETAILS 17,18/A12.01
  - REINSTALL SALVAGED RETAINING WALL BLOCKS IN NEW LAYOUT. CAP WITH EXISTING STONE CAPS
  - PROVIDE NEW OCTOBER GLORY RED MAPLE. REFER TO DETAILS ON A12.03
  - PROVIDE NEW LANDSCAPE PLANTER. MULCH FILL TO MATCH EXISTING PLANTERS
  - PROVIDE NEW 24"Ø CONCRETE BASE AND RE-INSTALL EXISTING LIGHT POST IN NEW LOCATION.
  - INSTALL NEW REMOTE ATM AND CONCRETE ISLAND, REFER TO DETAILS ON A12.02. REMOTE ATM ENCLOSURE TO BE PROVIDED BY SIGNAGE VENDOR
  - PROVIDE NEW DIRECTIONAL ARROWS IN WHITE EXTERIOR GRADE PAINT
  - PROVIDE NEW WOOD FENCE DUMPSTER ENCLOSURE WITH DOUBLE GATE AND 4"Ø x 48" TALL CONCRETE BOLLARD WITH SLEEVE ON EACH SIDE OF ENCLOSURE
  - PROVIDE NEW 2'-6" ATM LANE EDGE CONDITION WITH 6" CURB. SEE DETAIL 03 ON A12.03. EXISTING GRADE SLOPE BEHIND LANE EDGE TO REMAIN.
  - PROVIDE GROUNDCOVER JUNIPERUS PROCBUMENS 'NANA', GROWING CONDITIONS FULL SUN TO PART SUN.SPACING 30" O.C. (SEE DETAIL 1/A12.03)
  - PROVIDE SMALL SHRUB BUXUS SEMPERVIRENS 'ENGLISH BOXWOOD', GROWING CONDITIONS FULL SUN TO PART SUN.SPACING 36" O.C. (SEE DETAIL 1/A12.03)
  - REINSTALL EXISTING TREE IF DEEMED HEALTHY. OTHERWISE PROVIDE NEW RED OCTOBER GLORY RED MAPLE. REFER TO DETAILS ON A12.03

- ### LEGEND
- EXISTING BUILDING FOOTPRINT
  - EXISTING LANDSCAPED AREA
  - SITE PROPERTY LINE / SETBACK
  - NEW LANDSCAPE TO MATCH EXISTING
  - NEW CONCRETE
  - CONCRETE RAMP @ MAX 8.3% SLOPE AND MAX 1.5% CROSS-SLOPE
  - CONCRETE SIDEWALK/LANDING @ MAX 1.5% SLOPE AND MAX 1.5% CROSS-SLOPE
  - CONCRETE SLOPED SIDEWALK @ MAX 4.5% SLOPE AND MAX 1.5% CROSS-SLOPE
  - CONCRETE PARKING PAD @ MAX 1.5% SLOPE AND MAX 1.5% CROSS-SLOPE

TOTAL PARKING SPACES PROVIDED IN PARKING FACILITIES	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES	ON-SITE PARKING	
		APPLICABLE	
		YES	NO
1 TO 25	1		
26 TO 50	2		
51 TO 75	3		
76 TO 100	4		
101 TO 150	5		
151 TO 200	6		
201 TO 300	7		
301 TO 400	8		
401 TO 500	9		
501 TO 1000	2% OF TOTAL		
1001 and Over	20 Plus one for each 100, or fraction thereof, over 1,000		

APPLICABLE	ON-SITE PARKING	
	EXISTING	PROPOSED
ADA CAR PARKING	1	1
ADA VAN PARKING	1	1
TOTAL PARKING	27	27



SITE CONSTRUCTION PLAN

ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

**BISSANO + ASSOCIATES, INC.**  
RISING SUN MILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02909  
VOICE 401.404.8310 FAX 401.404.8311 WWW.BISSANO.COM

**Citizens Bank**

WEST SENECA  
1251 Union Road  
West Seneca, NY  
14224

SITE CONSTRUCTION PLAN

ISSUE TYPE: SITE PLAN REVIEW  
ISSUE DATE: 12/19/2019  
DRAWN BY: EKD  
SB

REVISED: REVISION 01 12/27/2019  
REVISION 02 01/28/2020

SCALE: 1/8" = 1'-0"  
B+A PROJECT NO: 2018.93

**A02.02**



**PLANTING LEGEND**

TREE	BOTANICAL NAME	QTY.
	MAGNOLIA X SOULANGEANA	1
	SAUCER MAGNOLIA	1
	POPULUS NIGRA VER. ITALICA-LOMBARDY POPLAR	1
	TILIA AMERICANA-AMERICAN	1
	ZELKOVA SERRATTA* GREEN VINES	4
	ZELKOVA SERRATTA* JAPANESE ZELKOVA	1
	JUNIPERUS CHINENSIS MAIDEN TOWER	1
	CHAMAECYPARIS NOOTKATENSIS MOOTRA CYPRESS	1
	HIBISCUS DENATUM-ARDORWOOD	3
	HIBISCUS	7
	QUERCUS ALBA-NUTT OAK	1
	QUERCUS VELITINA-BLACK OAK	2
	FLOWERING QUINCE	3
	ACER PLATANOIDES SIMONSON KING	1
	NORWAY MAPLE	1
	ELEAGNUS ALTISS COMPACTUS DWARF BURNING BUSH	5
	AESCULUS HIPPOCASTANUM-HORSE-CHRISTNUT	1
	MORUS ALBA-PENICULA	1
	SYRINGA RETICULATA	1
	GYMNOCLADUS DIOICUS-ROCKY COFFEE TREE	6
	PLATANUS X ACERIFOLIA LONDON PLANE TREE	2
	HIBISCUS SYRIACUS-ROSE OF SHARON	1
	CHAENOMELES SPECIOSA-FLOWERING QUINCE	1
	ACER BRISUM-PAPERBARK MAPLE	1
	PICEA ABIES-NORWAY SPRUCE	5
	FLOWERING CRAB APPLE	2
	QUERCUS GLAUCA-BLUE JAPANESE OAK	1
	HIBISCUS SYRIACUS-SERVICEBERRY	1
	CARPINUS BETULUS-EUROPEAN HORNBREAM	1
	TILIA AMERICANA-AMERICAN LINDBERGH	8
	ACER RUBRUM-OCTOBER GLORY-OCTOBER GLORY RED MAPLE	3

BUSH	BOTANICAL NAME	QTY.
	BERBERIS THUNBERGII VAR. ATROPUREA NANA	2
	TAXUS X MEDIA-SEMPERVIRENS	1
	BUXUS MICROPHYLLA VAR. JAPONICA	4
	DAYLILY	5
	GOLDEN OREGANO ORISALUM VULGARE AUREUM	2
	TAXUS BACCATA-REPAIDENS SPREADING ENGLISH YEW	3
	ARBORVITAE THALICA OCCIDENTALE	5
	POA ANNUA	2
	PLANT A	2
	PLANT B	3
	PLANT C	5

ARCHITECTURE  
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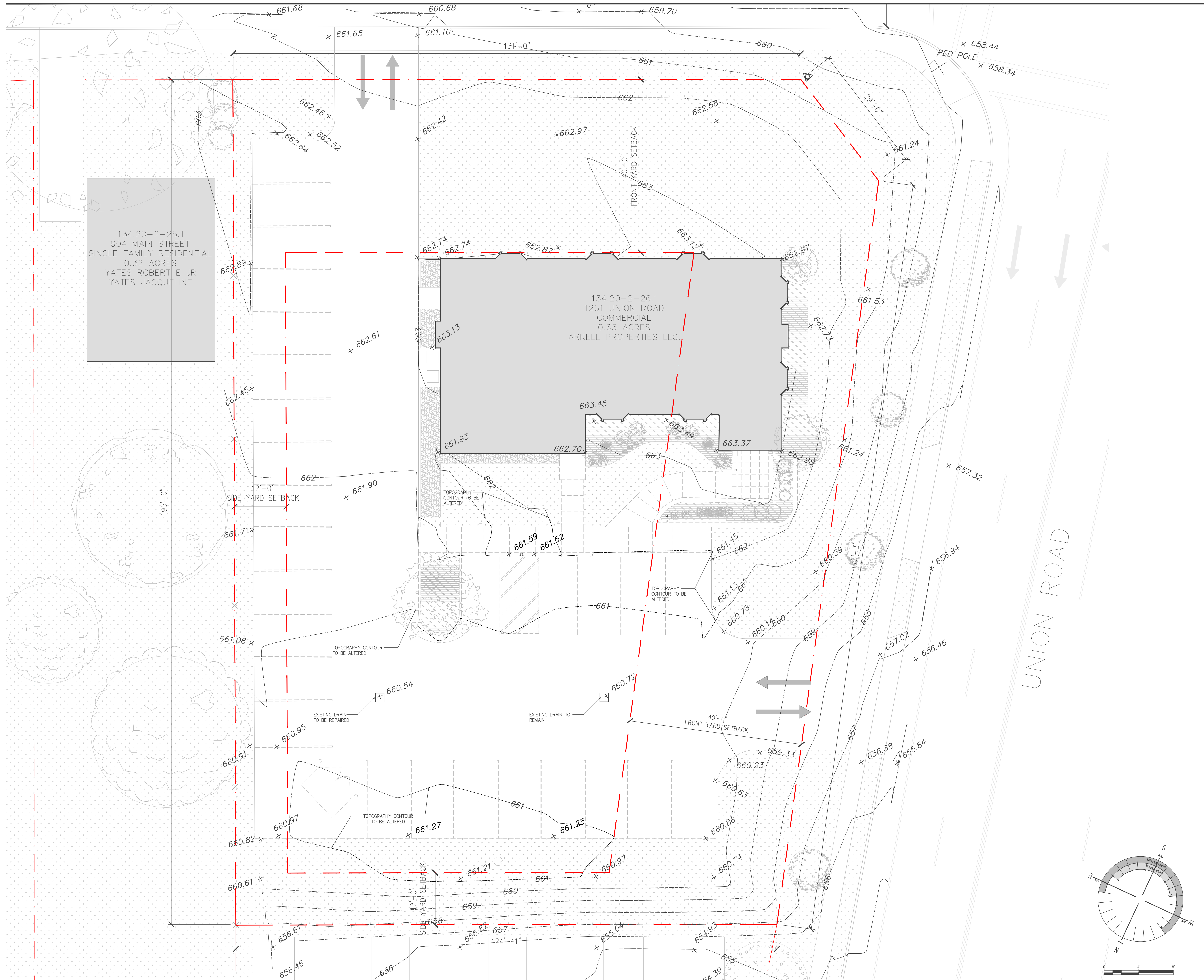
**PROPOSED LANDSCAPE PLAN**

ISSUE TYPE: SITE PLAN REVIEW	REVISED: REVISION 01 12/27/2019 REVISION 02 01/28/2020
ISSUE DATE: 12/19/2019	
DRAWN BY: RS SB EKD	

ALL PLANTS EXISTING UNLESS NOTED OTHERWISE  
REFER TO DETAILS ON A12.03 FOR PLANTING SPECIFICATIONS

SCALE:  
1/16" = 1'-0"  
B+A PROJECT NO:  
2018.93

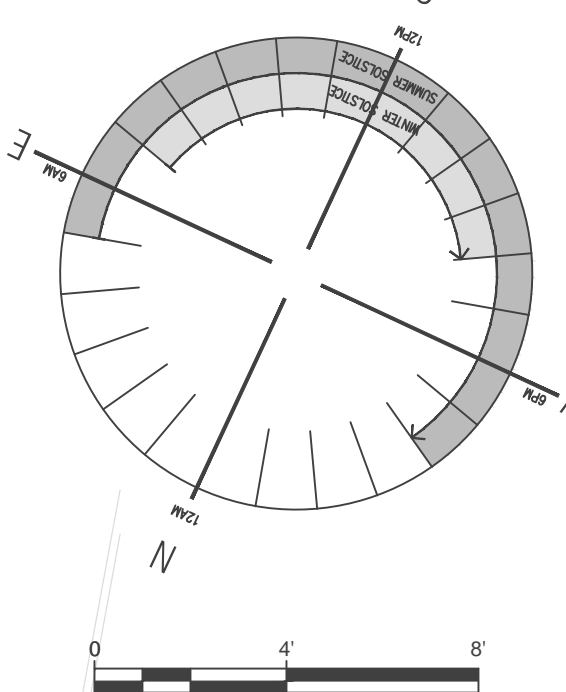
**A02.04**



134.20-2-25.1  
604 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.32 ACRES  
YATES ROBERT E. JR  
YATES JACQUELINE

134.20-2-26.1  
1251 UNION ROAD  
COMMERCIAL  
0.63 ACRES  
ARHELL PROPERTIES LLC.

UNION ROAD



DEMOLITION TOPOGRAPHY PLAN

ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

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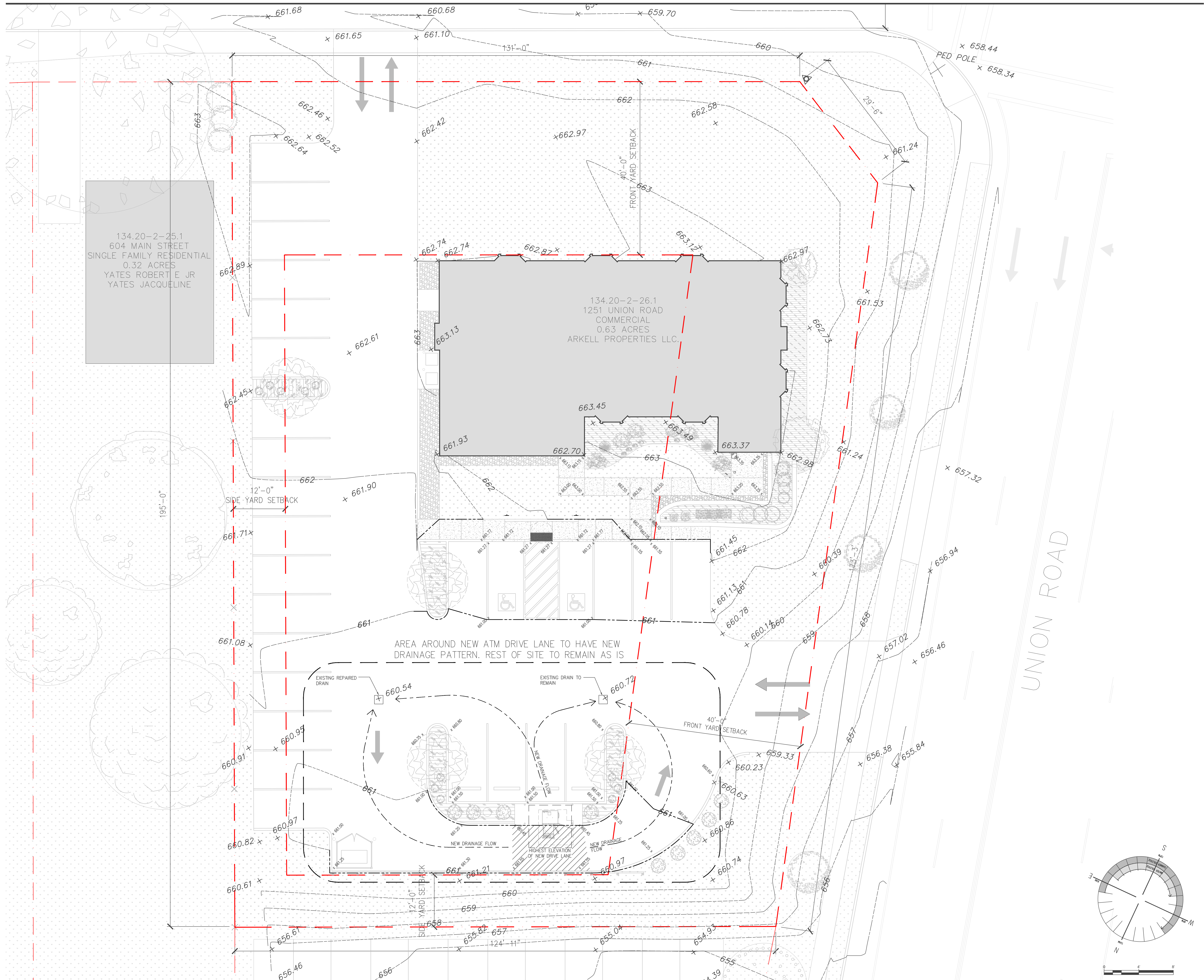
DEMOLITION SITE  
TOPOGRAPHY PLAN

ISSUE TYPE: SITE PLAN REVIEW	REVISED: REVISION 01 12/27/2019
ISSUE DATE: 12/19/2019	REVISION 02 01/28/2020
DRAWN BY: RS SR EKD	

SCALE:  
1/8" = 1'-0"

B+A PROJECT NO:  
2018.93



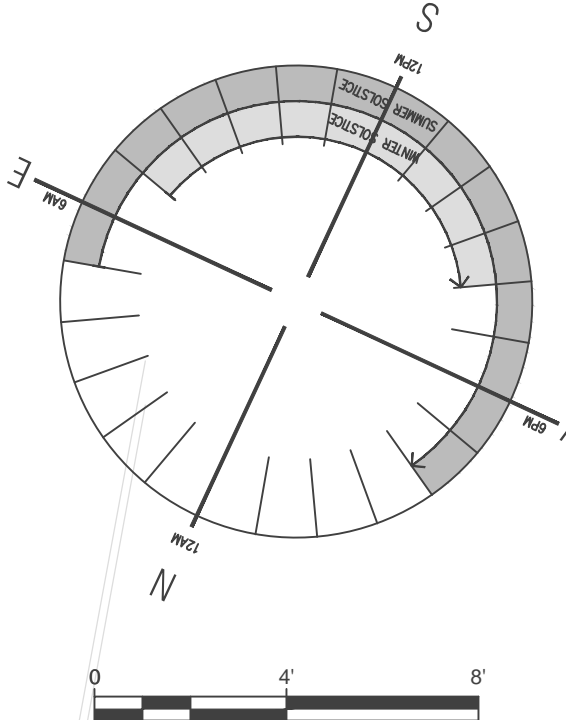


134.20-2-25.1  
604 MAIN STREET  
SINGLE FAMILY RESIDENTIAL  
0.32 ACRES  
YATES ROBERT E JR  
YATES JACQUELINE

134.20-2-26.1  
1251 UNION ROAD  
COMMERCIAL  
0.63 ACRES  
ARKELL PROPERTIES LLC

AREA AROUND NEW ATM DRIVE LANE TO HAVE NEW DRAINAGE PATTERN. REST OF SITE TO REMAIN AS IS

UNION ROAD



ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

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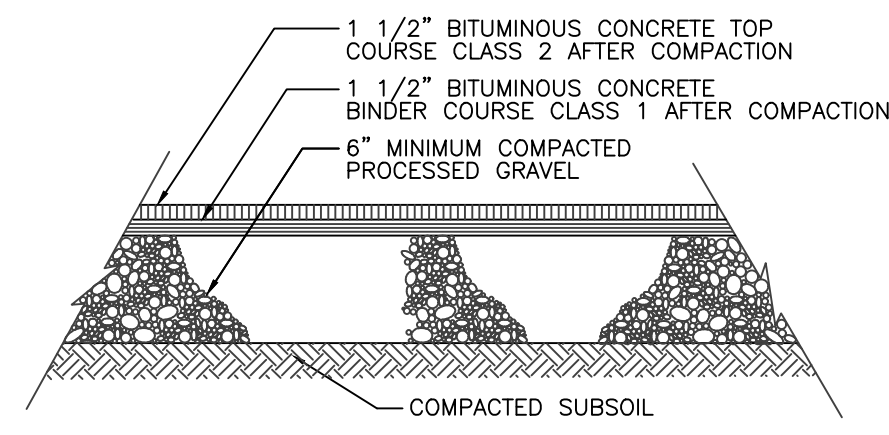
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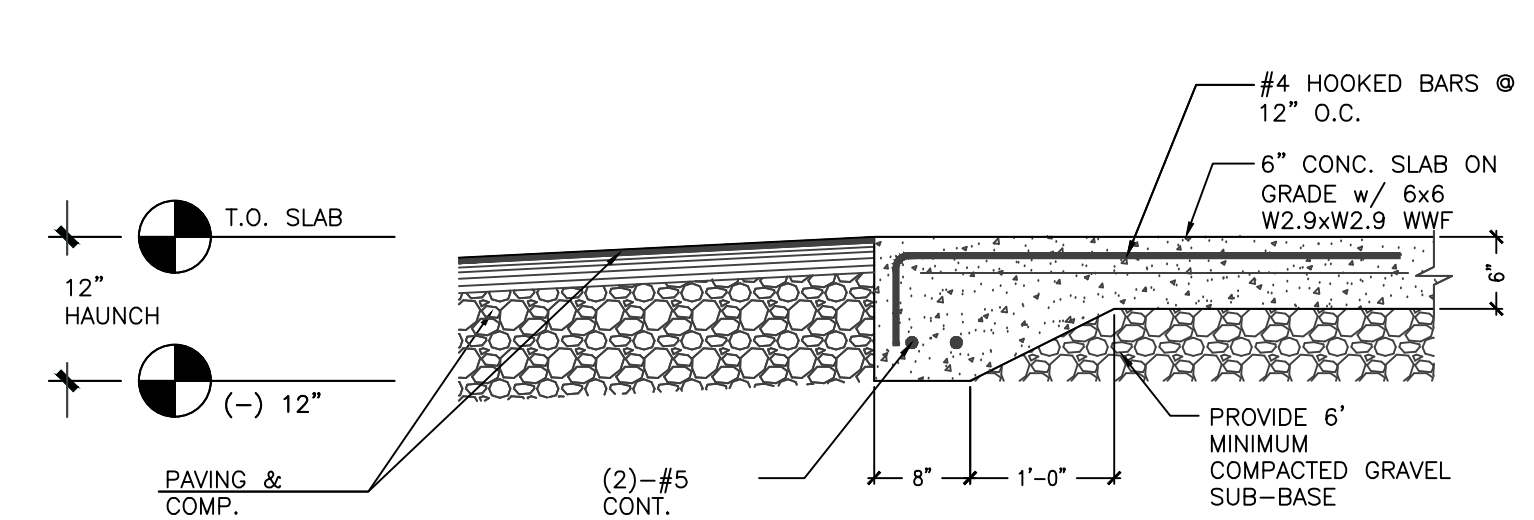
CONSTRUCTION SITE  
TOPOGRAPHY PLAN

ISSUE TYPE: SITE PLAN REVIEW	REVISED: REVISION 01 12/27/2019
ISSUE DATE: 12/19/2019	REVISION 02 01/28/2020
DRAWN BY: RS SB EKD	

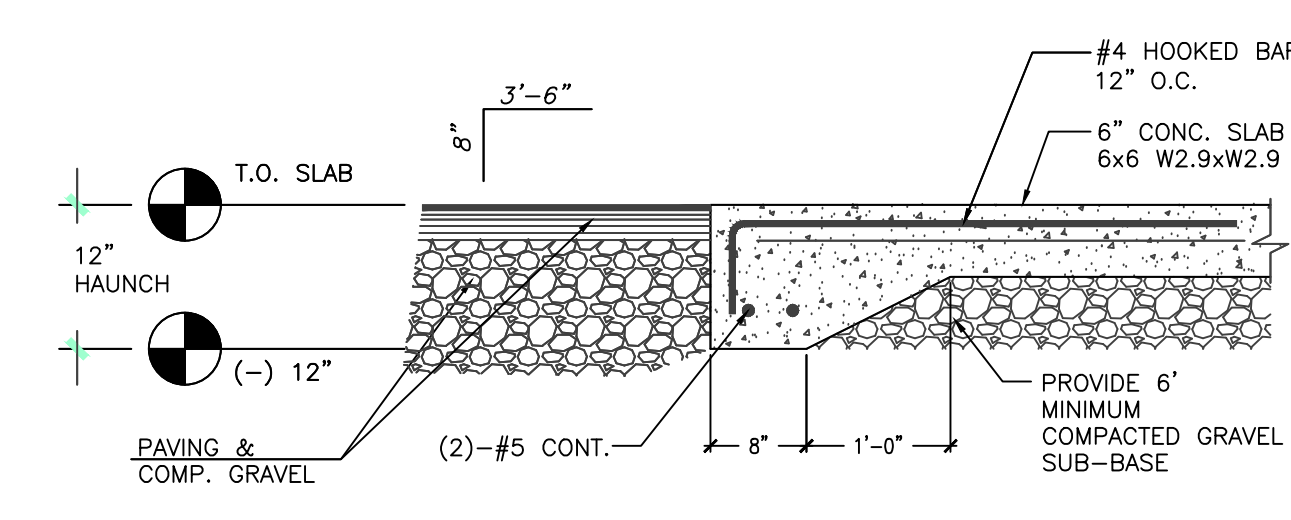
SCALE:  
1/8" = 1'-0"  
B+A PROJECT NO:  
2018.93



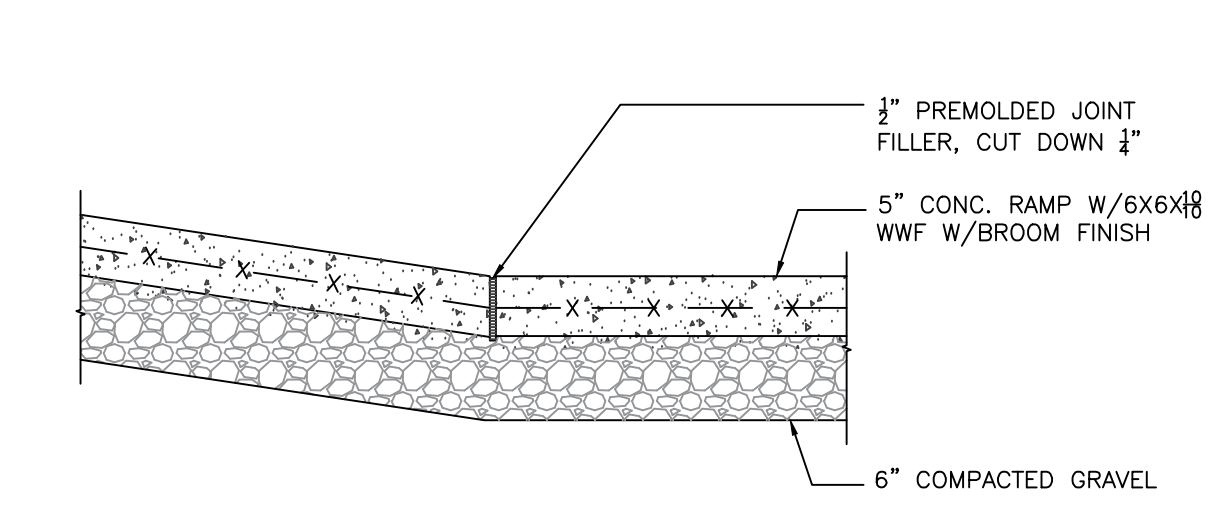
**TYP. BITUMINOUS PAVING DETAIL 1**  
SCALE: 3/4" = 1'-0"



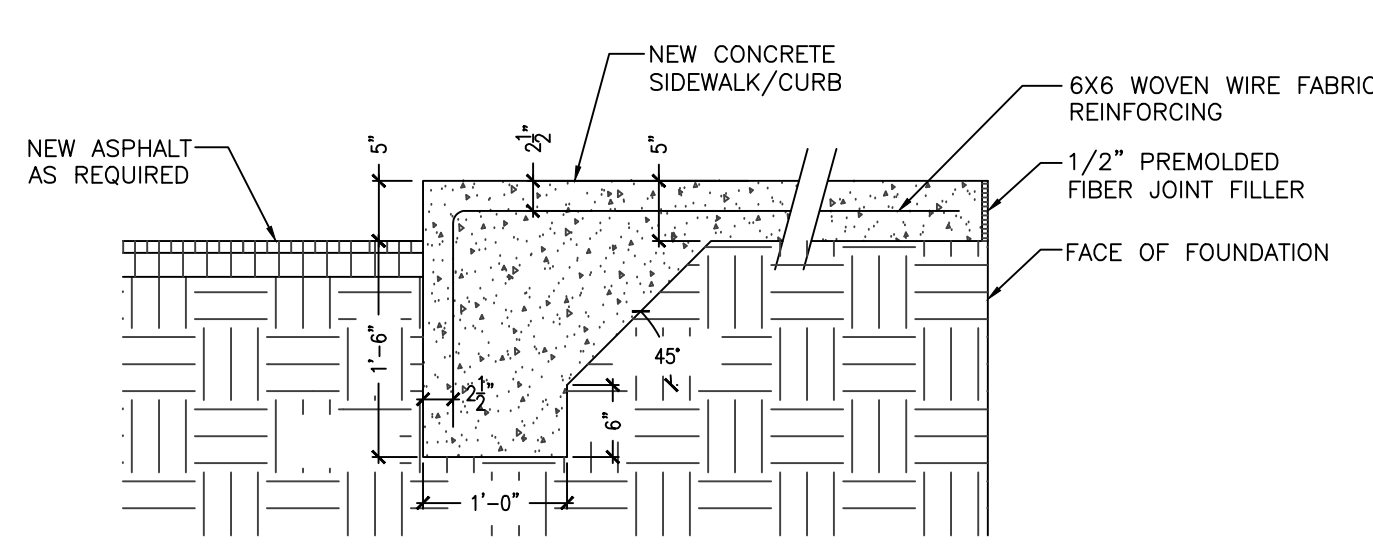
**TYP. BITUMINOUS PAVING @ CONCRETE PARKING 2**  
SCALE: 3/4" = 1'-0"



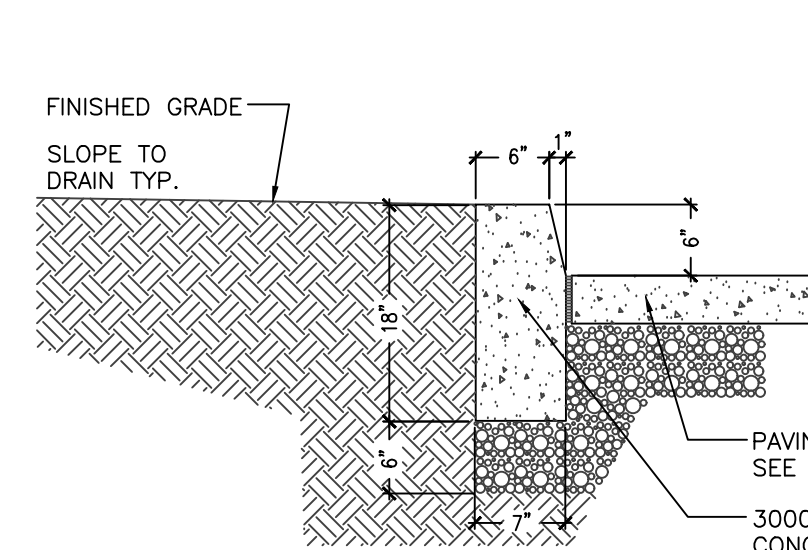
**CURB RAMP LANDING @ ASPHALT PAVING 3**  
SCALE: 3/4" = 1'-0"



**TYP. CONSTR. JOINT @ RAMP 4**  
SCALE: 3/4" = 1'-0"

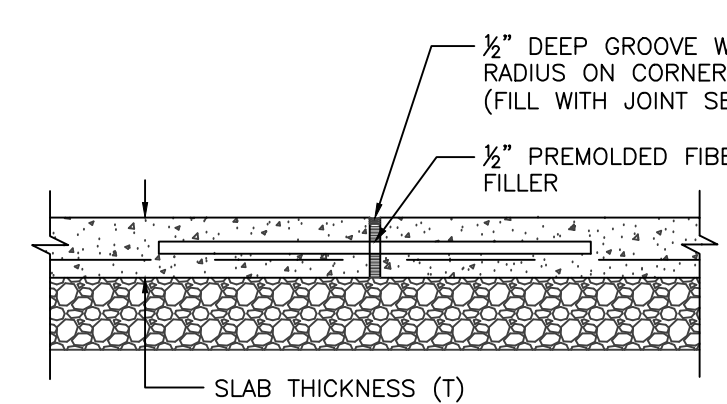


**TYP. CAST-IN-PLACE CURB DETAIL 5**  
SCALE: 3/4" = 1'-0"

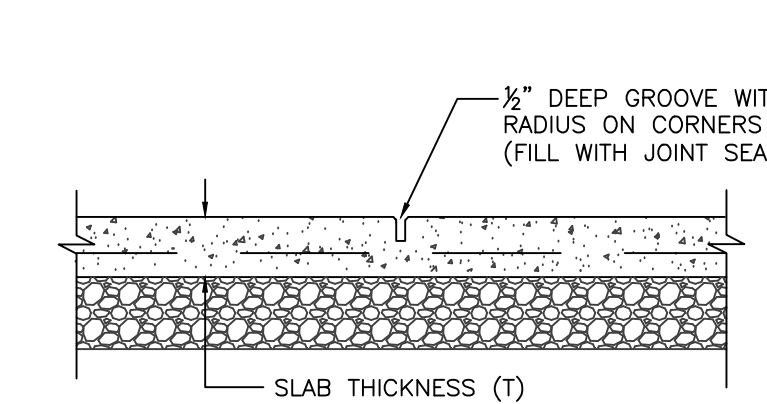


**TYP. PRECAST CURB DETAIL 6**  
SCALE: 3/4" = 1'-0"

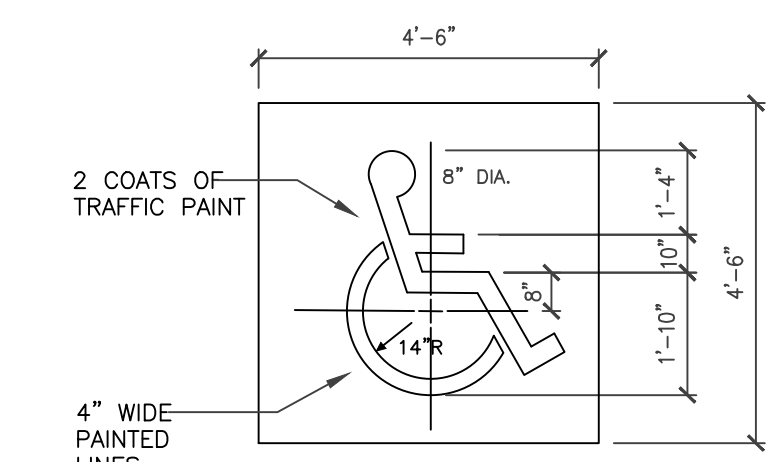
NOTE: WHERE CURB IS INSTALLED ADJACENT TO EXISTING PAVEMENT (LESS THAN 2" FROM FACE), CURB SHALL BE SET WITH CEMENT CONCRETE.



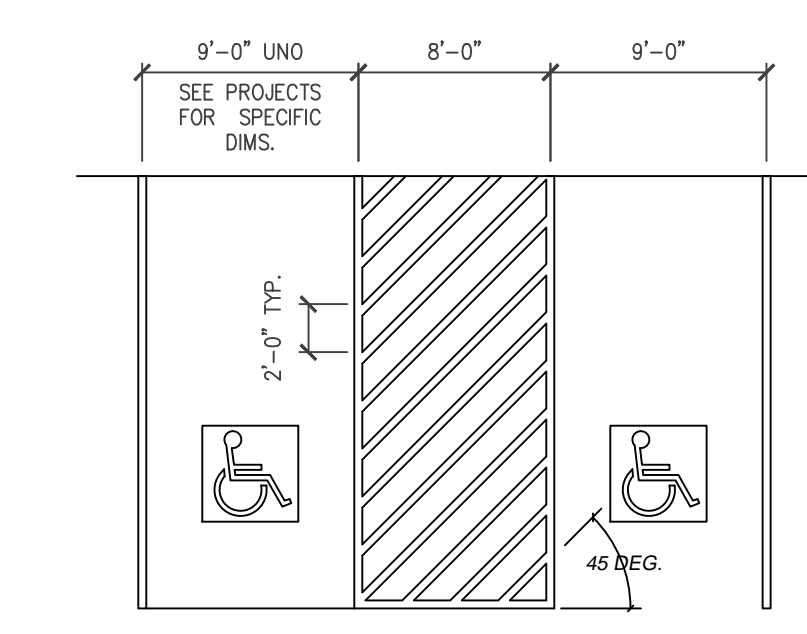
**TYP. EXPANSION JOINT 7**  
SCALE: 3/4" = 1'-0"



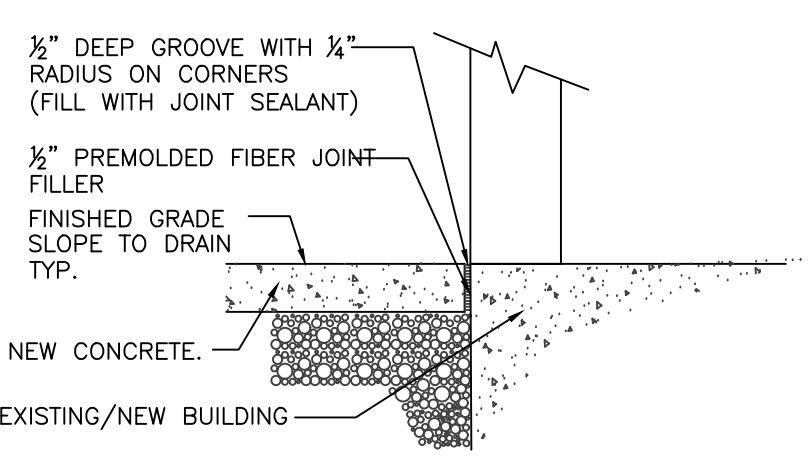
**TYP. TOOLED CONTROL JOINT 8**  
SCALE: 3/4" = 1'-0"



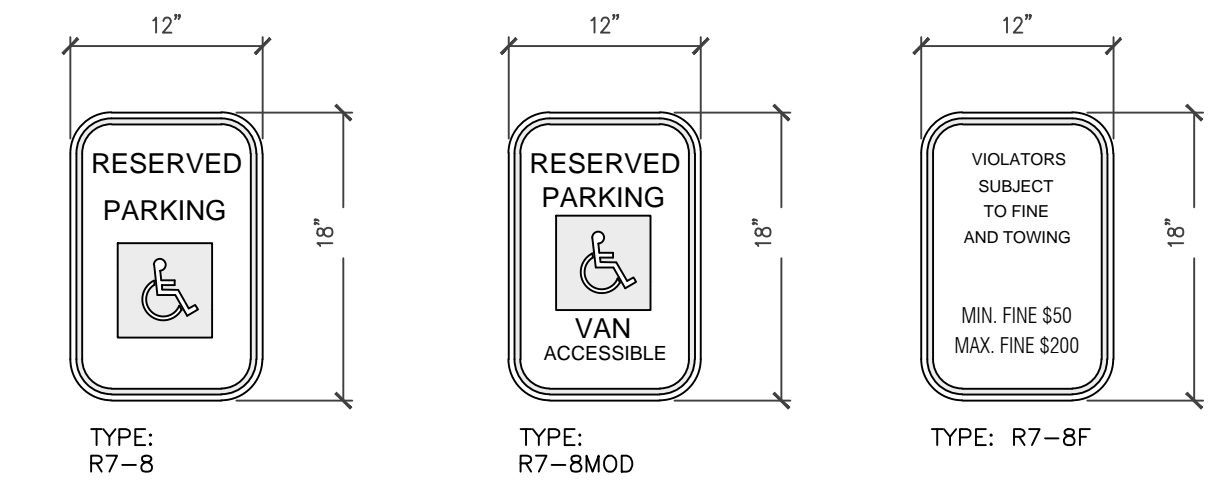
**ADA SYMBOL 9**  
SCALE: 1" = 1'-0"



**ADA PARKING STALL 10**  
SCALE: 1/8" = 1'-0"

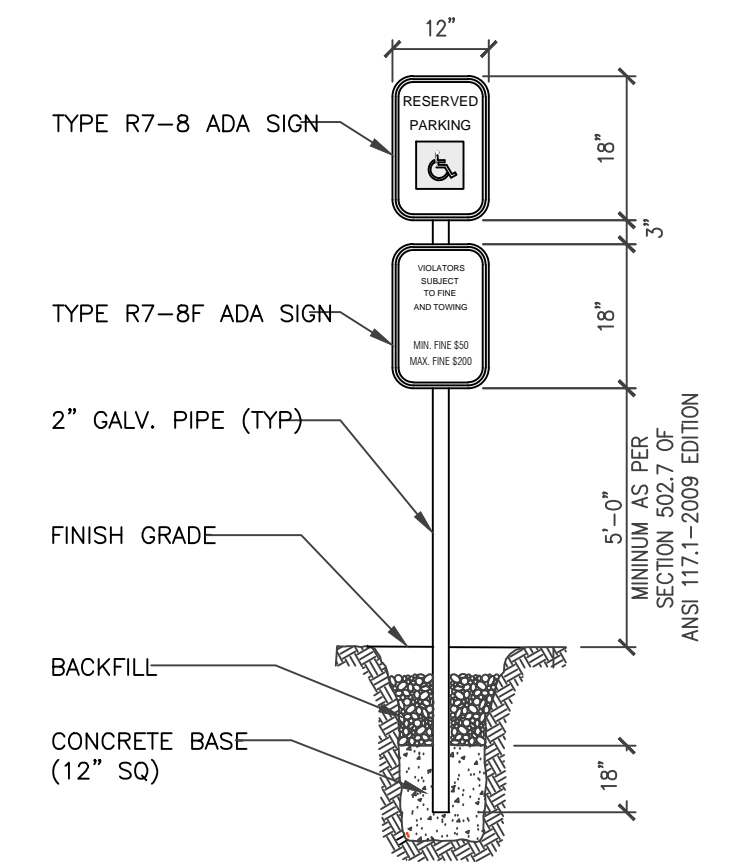


**TYP. EXPANSION JOINT @ BUILDING 11**  
SCALE: 3/4" = 1'-0"

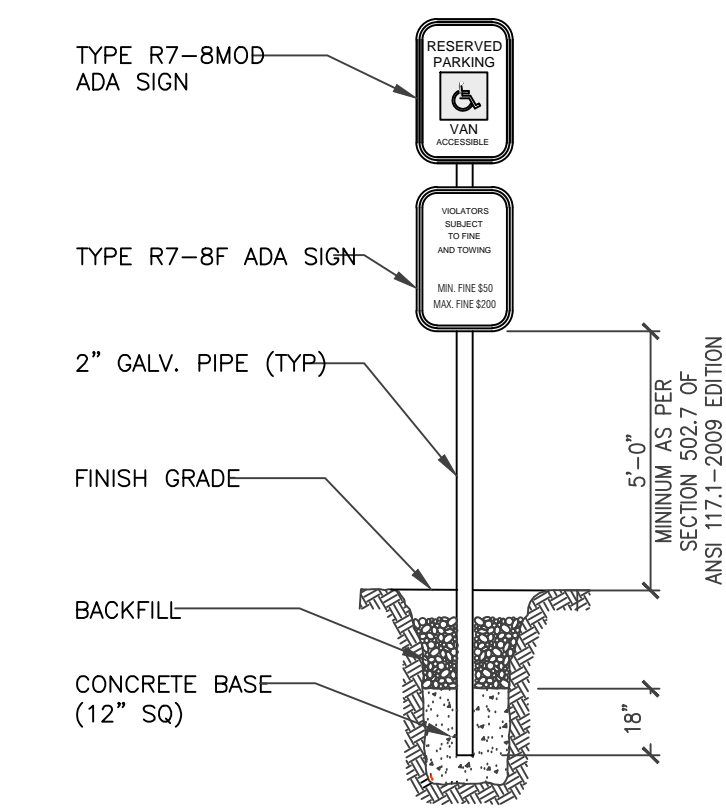


NOTES:  
1. REFLECTIVE BLUE BACKGROUND WHITE LETTERING AND SYMBOL LETTERING MINIMUM 1" HEIGHT  
2. SIGN TO BE MOUNTED ON 2" METAL POST  
3. ONE SIGN PER HANDICAPPED SPACE  
4. VAN ACCESSIBLE SIGN HC SIGN WHERE SPECIFIED ON PLANS. COLORING AND LETTERING TO MATCH HC SIGN.

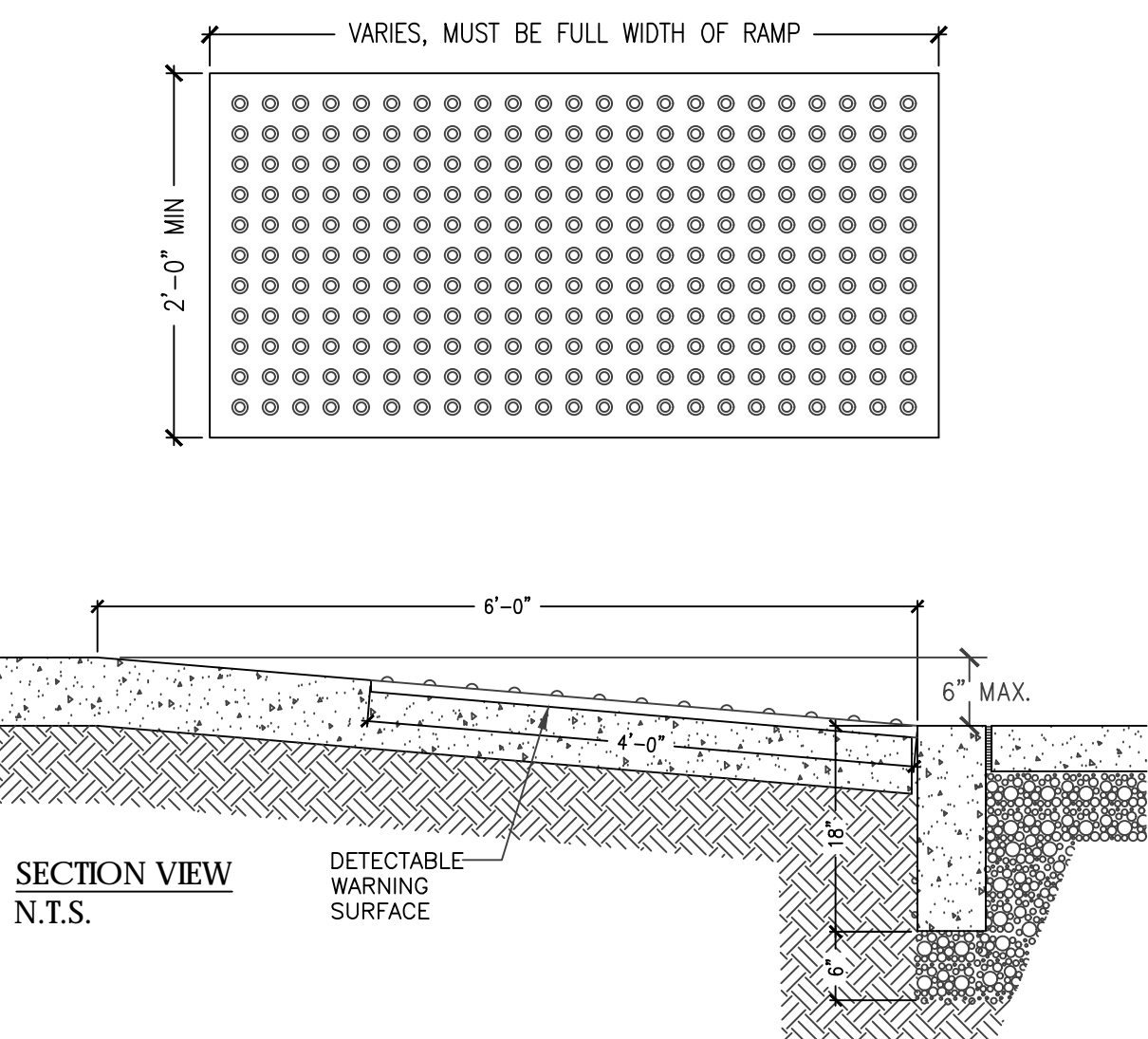
**ADA SIGN DETAILS 12**  
SCALE: 1" = 1'-0"



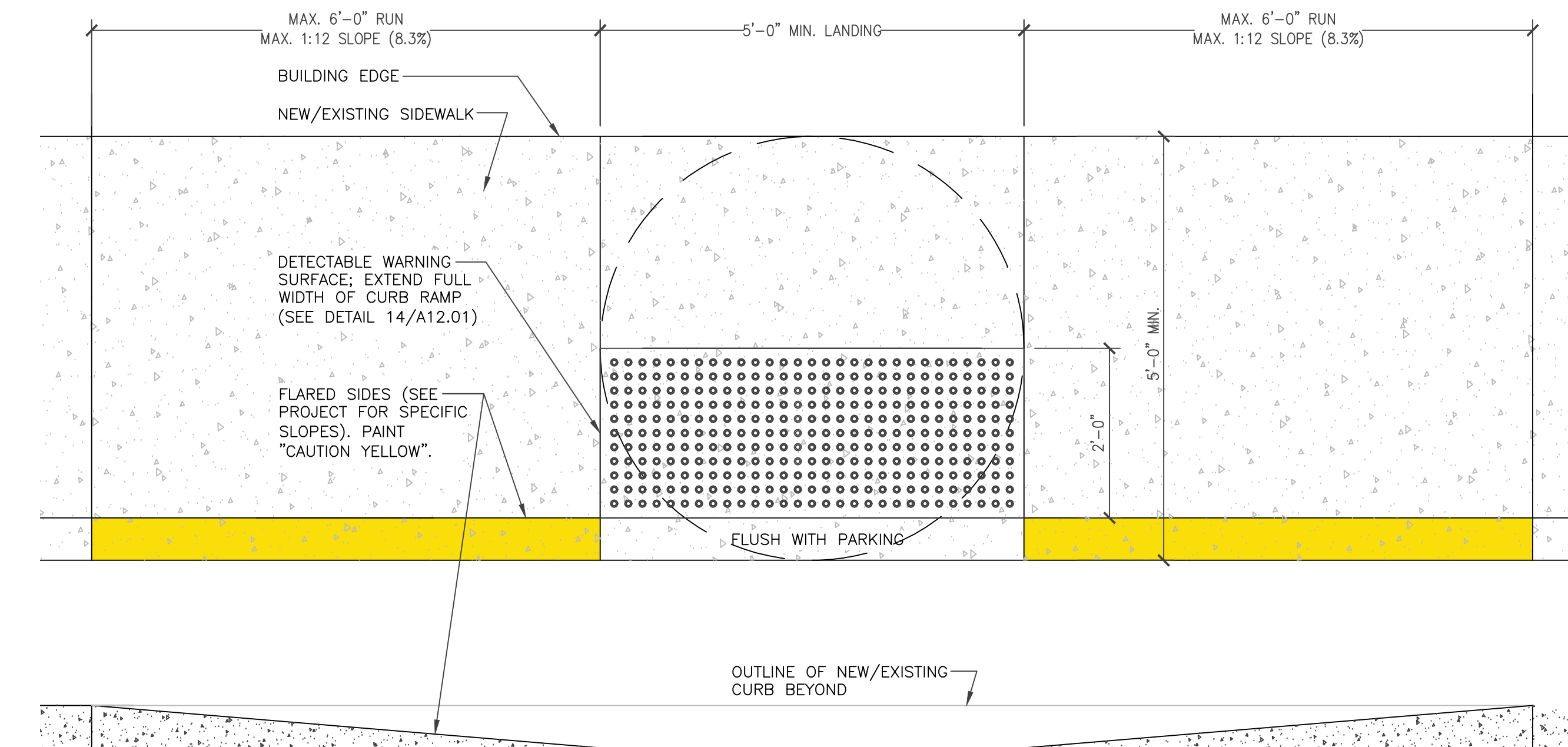
**ADA SIGN POST/BASE (STANDARD) 13**  
SCALE: 1" = 1'-0"



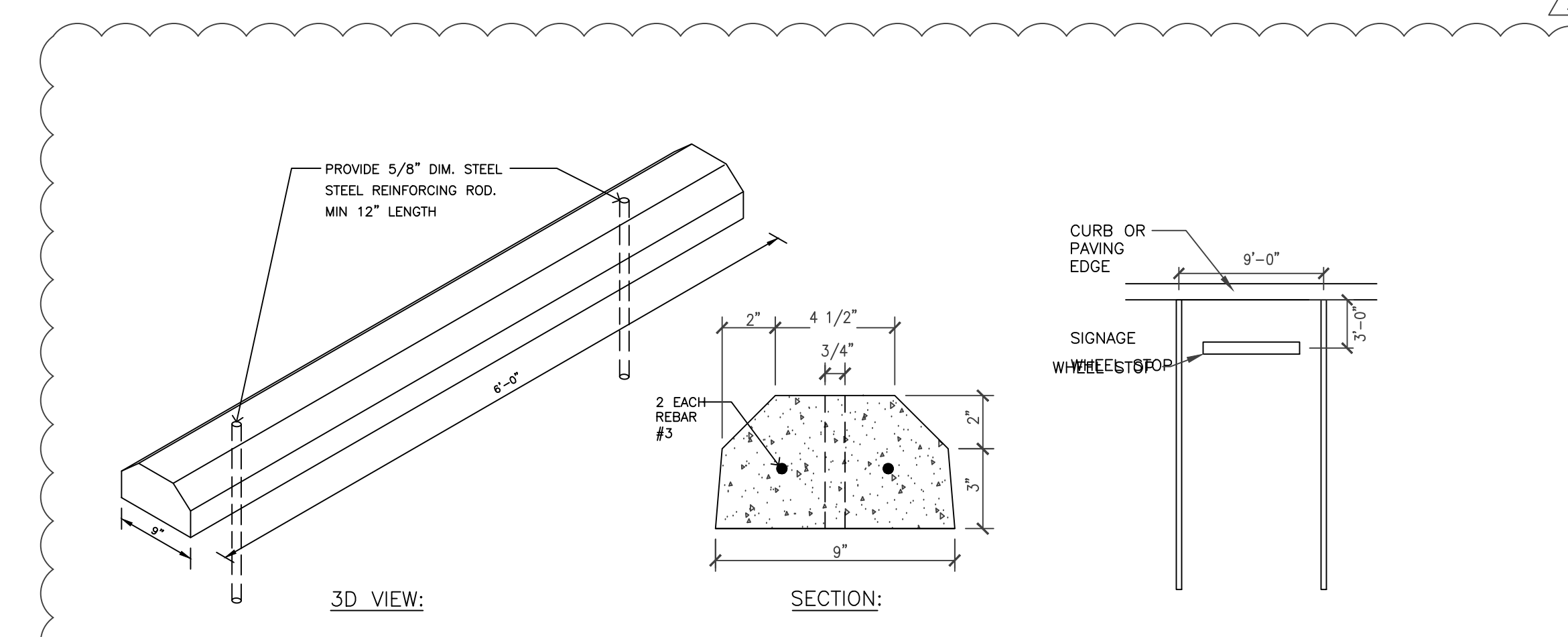
**ADA SIGN POST/BASE (VAN ONLY) 14**  
SCALE: 1" = 1'-0"



**DETECTABLE WARNING SURFACE 15**  
SCALE: 1" = 1'-0"



**TYPICAL CURB RAMP 16**  
SCALE: 3/4" = 1'-0"



**CONCRETE WHEEL STOP 17**  
SCALE: NTS

**CONCRETE WHEEL STOP PLACEMENT 18**

- NOTES:
- ALL CONCRETE TO BE 5,000 PSI HIGH STRENGTH CONCRETE MIX, COMPRESSIVE STRENGTH 2500 PSI IN 3 DAYS.
  - PROVIDE BROOM FINISH, RUN PARALLEL WITH CROSS-SLOPE.
  - PROVIDE TOOLED JOINTS AND EDGES TO MATCH EXISTING CONCRETE DETAILS.

ARCHITECTURE  
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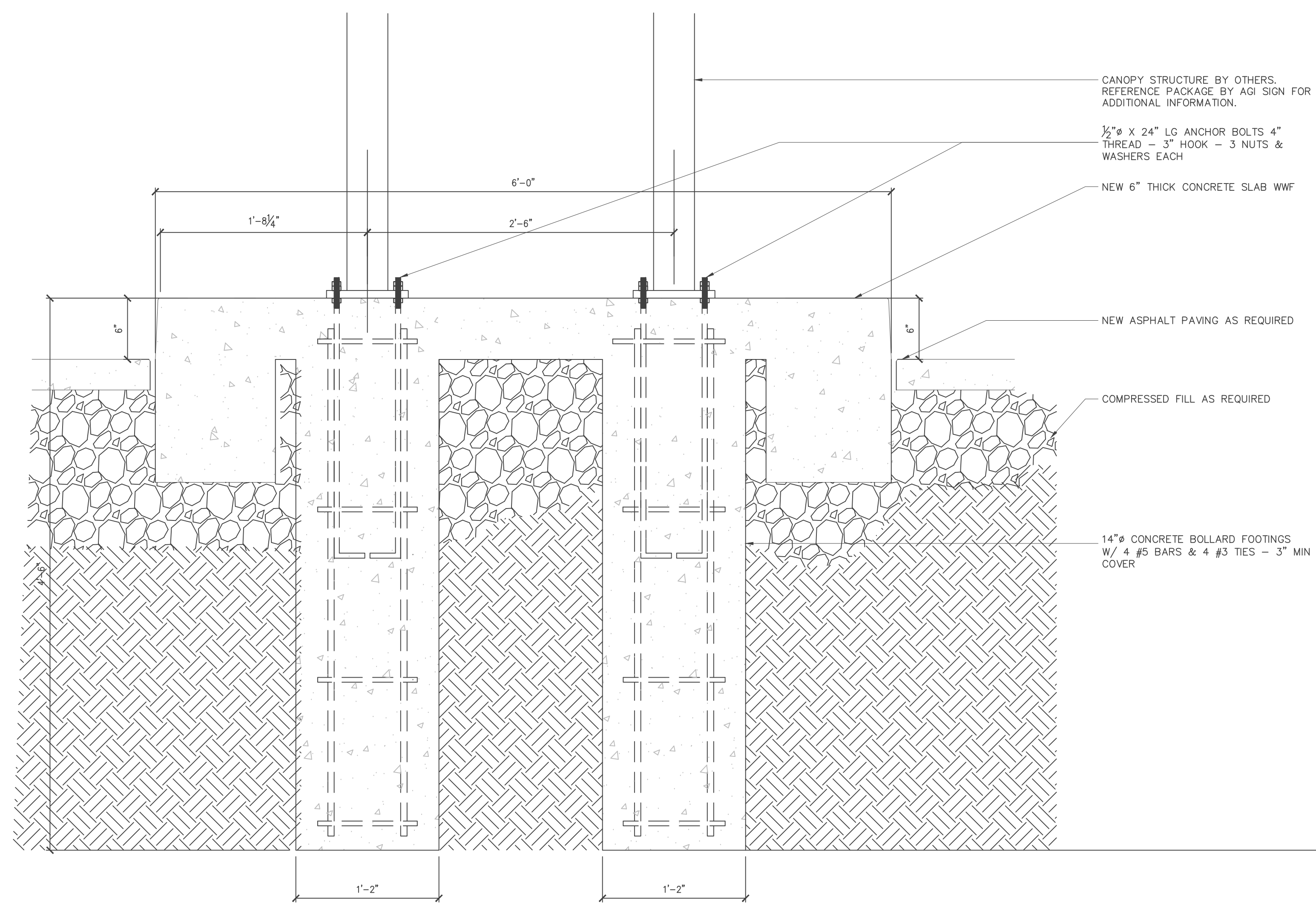
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14224

**SITE DETAILS**

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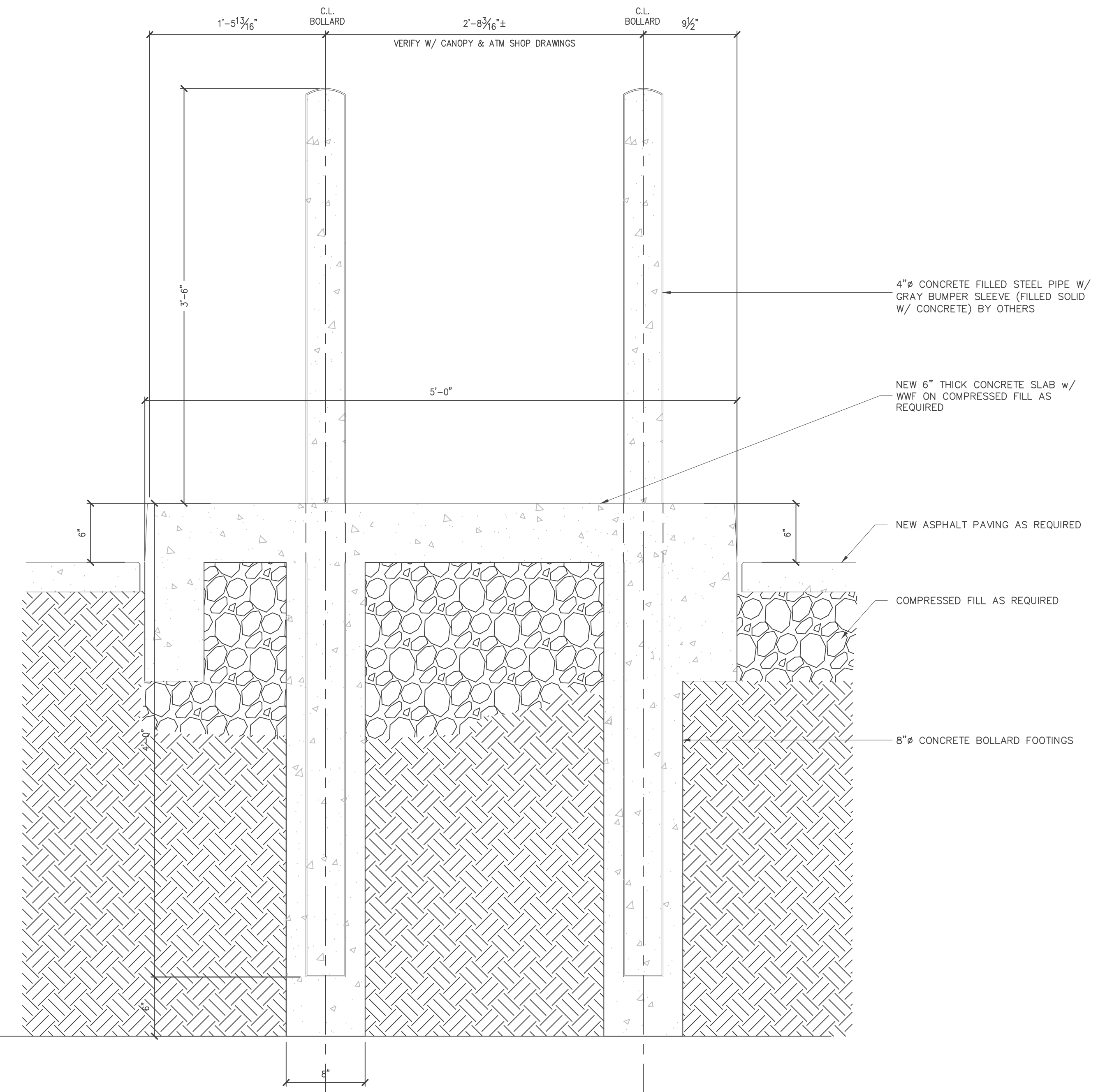
**A12.01**



SECTION THROUGH FOOTINGS AT CANOPY STRUCTURE

$1 \frac{1}{2}'' = 1'-0''$

1  
A12.02



SECTION THROUGH FOOTINGS AT BOLLARDS

$1 \frac{1}{2}'' = 1'-0''$

2  
A12.02

CANOPY STRUCTURE BY OTHERS. REFERENCE PACKAGE BY AGI SIGN FOR ADDITIONAL INFORMATION.  
 1/2" x 24" LG ANCHOR BOLTS 4" THREAD - 3" HOOK - 3 NUTS & WASHERS EACH  
 NEW 6" THICK CONCRETE SLAB W/F  
 NEW ASPHALT PAVING AS REQUIRED  
 COMPRESSED FILL AS REQUIRED  
 14" x 14" CONCRETE BOLLARD FOOTINGS W/ 4 #5 BARS & 4 #3 TIES - 3" MIN COVER

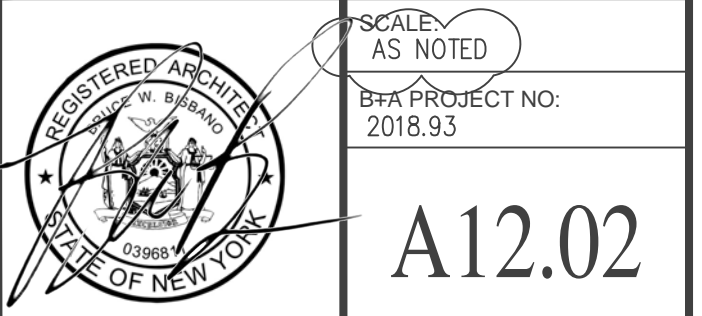
4" x 4" CONCRETE FILLED STEEL PIPE W/ GRAY BUMPER SLEEVE (FILLED SOLID W/ CONCRETE) BY OTHERS  
 NEW 6" THICK CONCRETE SLAB w/ W/F ON COMPRESSED FILL AS REQUIRED  
 NEW ASPHALT PAVING AS REQUIRED  
 COMPRESSED FILL AS REQUIRED  
 8" x 8" CONCRETE BOLLARD FOOTINGS



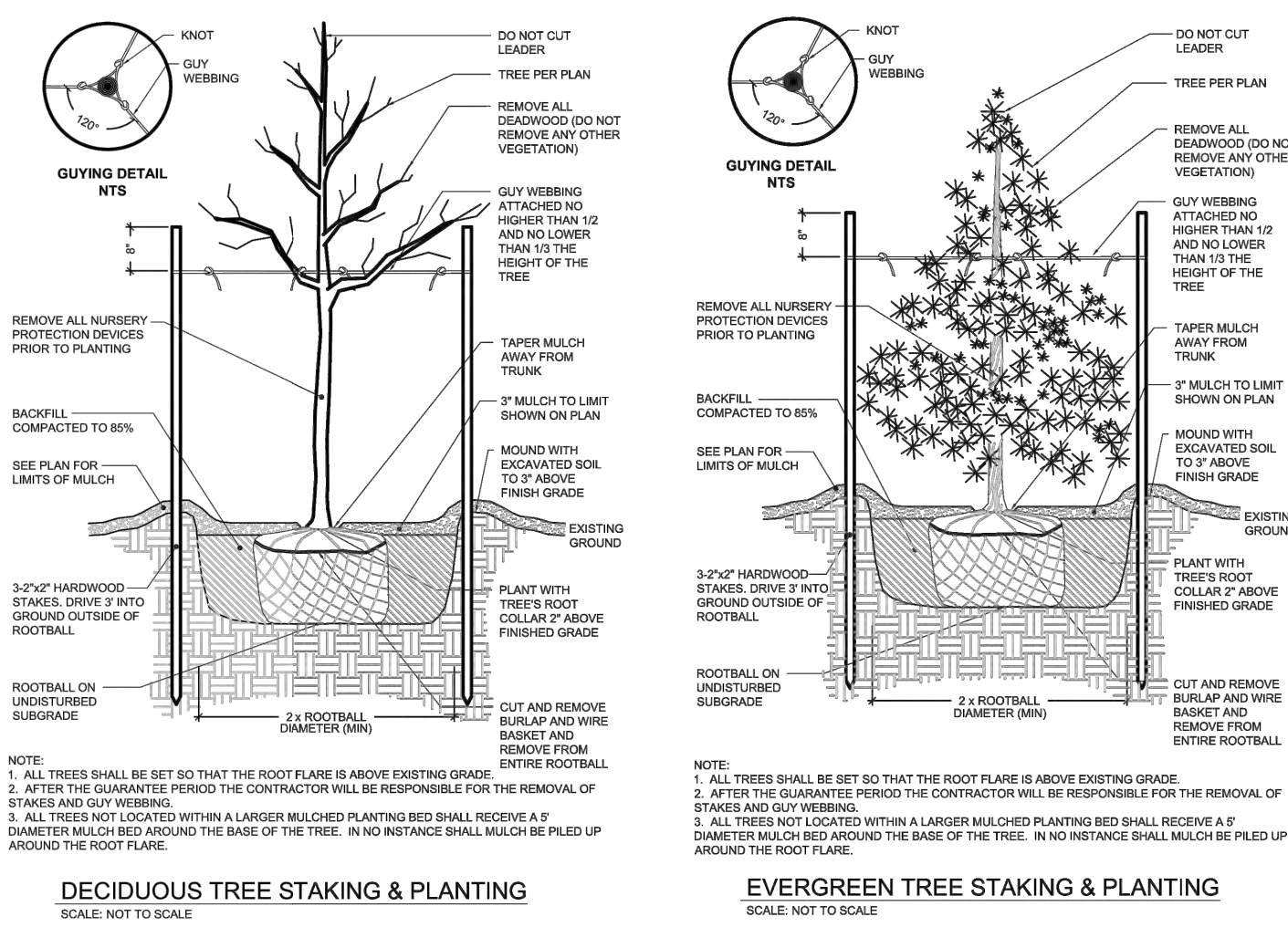
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 West Seneca, New York  
 14224

REMOTE ATM  
 ISLAND DETAILS

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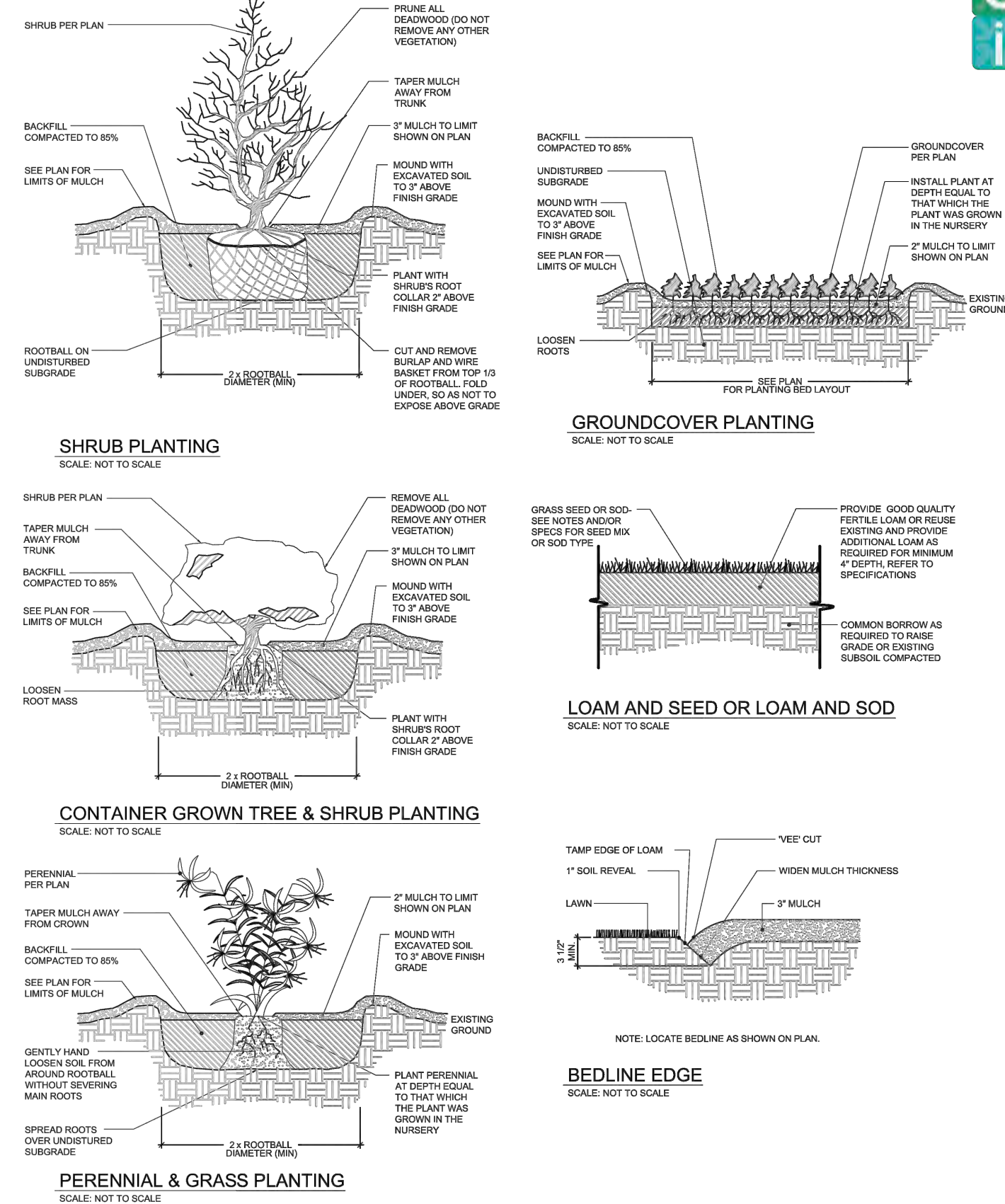
Guidelines: Planting Details  
Tree Planting



birchwood design group | citizens bank

40

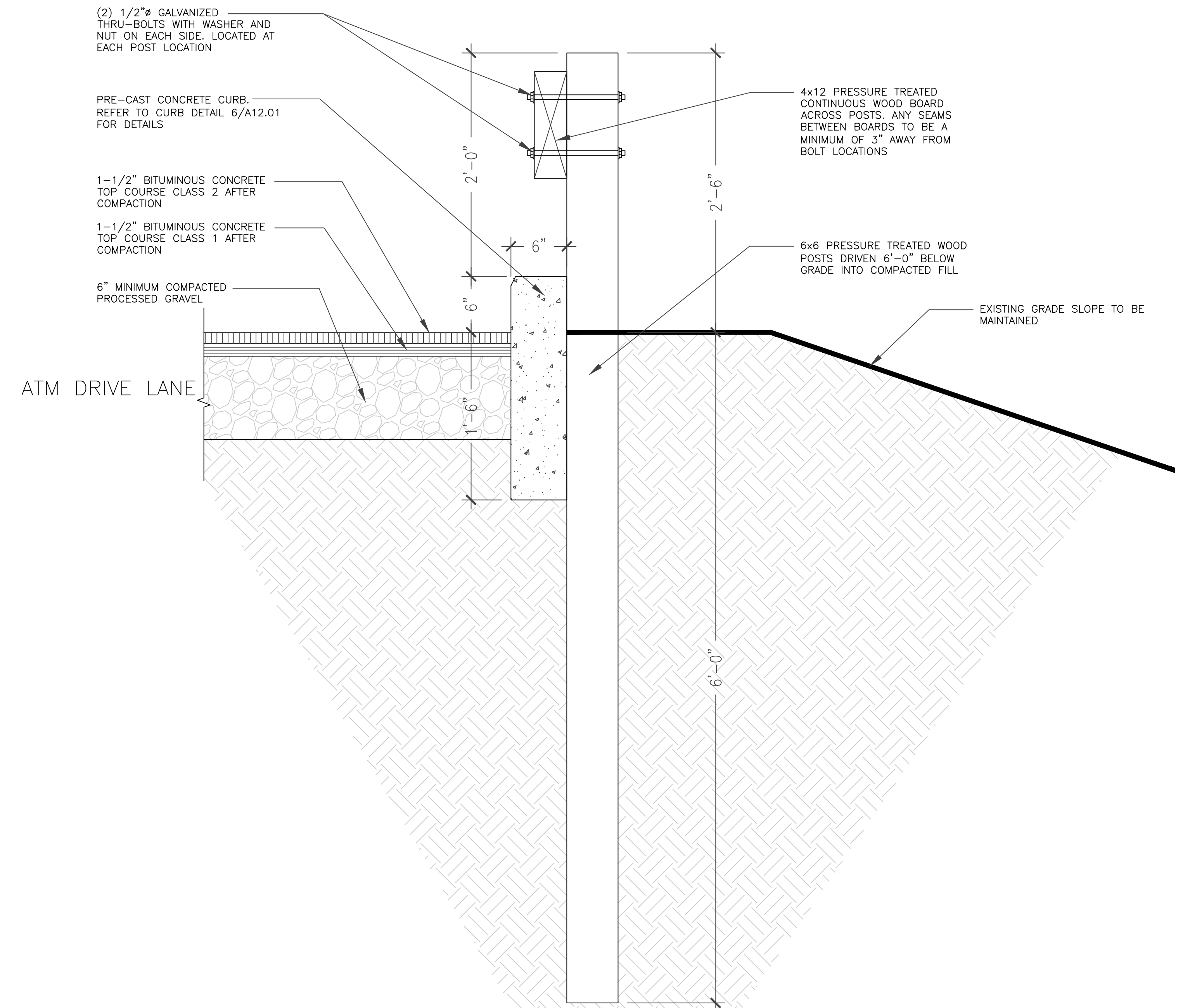
Guidelines: Planting Details  
Shrub and Perennial Planting



birchwood design group | citizens bank

42

1  
A12.03  
PLANTING DETAILS  
NOT TO SCALE



2  
A12.03  
ATM DRIVE LANE EDGE DETAIL  
1 1/2" = 1'-0"

ARCHITECTURE  
INTERIOR ARCHITECTURE  
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LANDSCAPE DETAILS

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**A12.03**