

APPLICATION TO BOARD OF APPEALS

Tel. No. 824-7200

Appeal No. 2018-02

Date 1/11/18

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) RALPH LOZIGO of 101 SLADE AVE

WS NY

, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. _____,

DATED _____, 20____, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- | | |
|------------------------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> A PERMIT FOR USE | <input type="checkbox"/> A CERTIFICATE OF EXISTING USE |
| <input type="checkbox"/> A PERMIT FOR OCCUPANCY | <input type="checkbox"/> A CERTIFICATE OF ZONING COMPLIANCE |
| <input type="checkbox"/> A TEMPORARY PERMIT OR EXTENSION THEREOF | <input type="checkbox"/> AREA PERMIT |

1. Applicant is the PROPERTY OWNER
 CONTRACTOR FOR THE WORK CONCERNED HEREIN
 PROSPECTIVE TENANT
 OTHER (Describe) _____

2. LOCATION OF THE PROPERTY 1197 UNION ROAD

3. State in general the exact nature of the permission required, ERECT STRUCTURE WITH SETBACK, PARKING REDUCTIONS, ENTRANCE WIDTH,

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. _____, dated _____, 20____.

5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because:

No other configurations work; all properties along this portion of Union Rd have parking in front.

B. Interpretation of the Zoning Ordinance is requested because: _____

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article _____, Section _____, Subsection _____, Paragraph _____ of the Zoning Ordinance, because: _____

[Handwritten Signature]
Signature

TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance
SEE ATTACHED SHEET FOR 6 VARIANCES

2. Zoning Classification of the property concerned in this appeal _____

3. Type of Appeal:
 Variance to the Zoning Ordinance.
 Interpretation of the Zoning Ordinance or Zoning Map
 Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

[Handwritten Signature] C-1

4. A statement of any other facts or data which should be considered in this appeal. THIS PROJECT IS REQUIRED TO GO THRU SITEPLAN REVIEW. DESIGN STANDARDS NEED TO BE ADHERED TO.

120-70-4(A)(B) PARKING IN SIDE/REAR REQ'D
PARKING IN FRONT REQUESTED

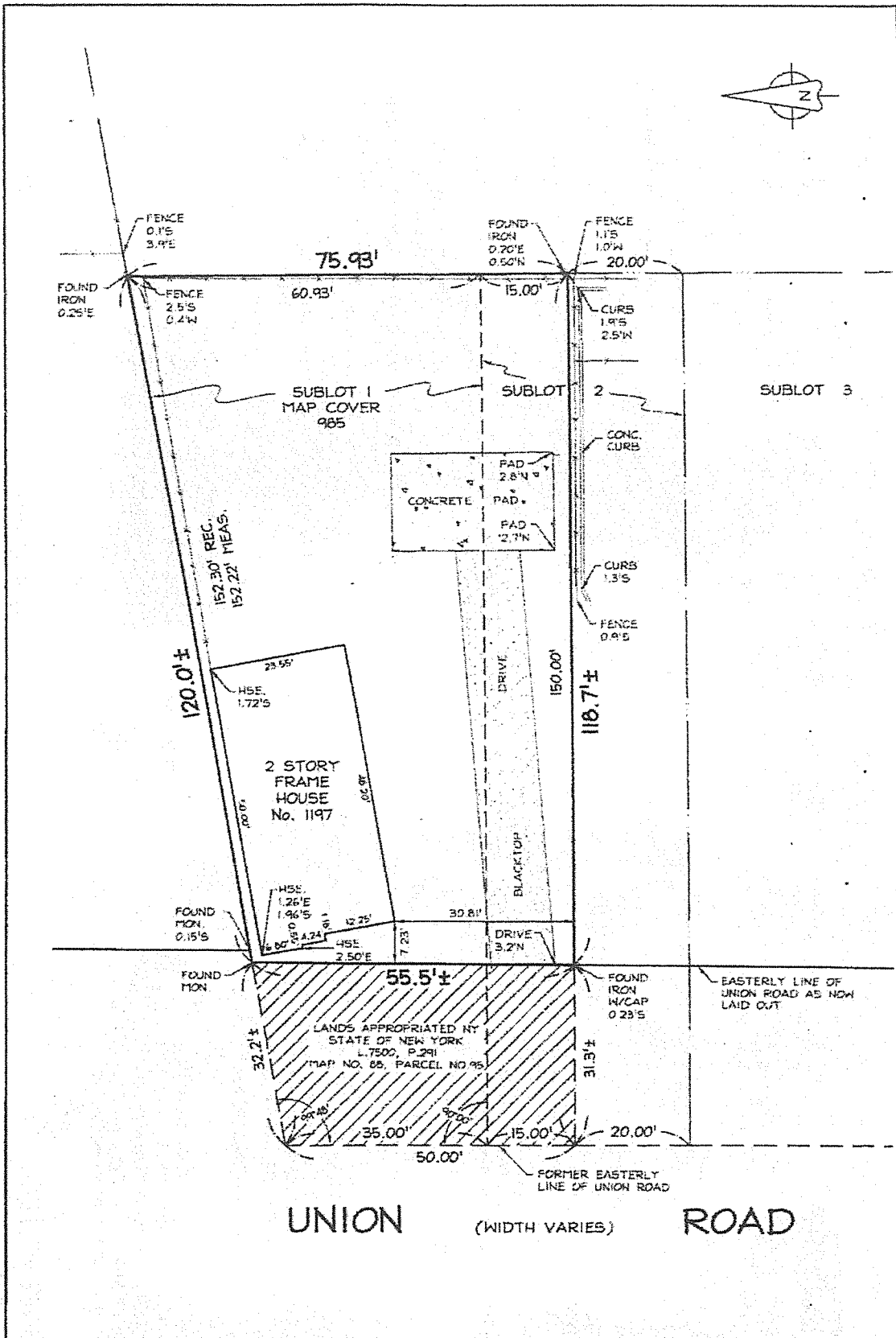
120-70-6 INCLUSIVE 2 STORY REQUIRED
1 STORY REQUESTED

120-41 3 SPACES/CHAIR ASSUMING 5 CHAIRS
15 SPACES REQ'D 9 SPACES PROVIDED

120-41 30' ENTRANCE WIDTH REQ'D
24' " " PROVIDED

120-70-6 FRONT SETBACK 0'-20' SETBACK REQ'D NO MORE
83' " " REQUESTED

120-30 REAR SETBACK 30' REAR REQ'D
5' " PROVIDED



NO BEARINGS SET OR FOUND AT PROPERTY CORNERS UNLESS NOTED HEREDON

This survey was prepared without the benefit of an
examined of title and is subject to any state of facts
that may be revealed by an examination of such.

Unauthorized alterations or additions to any survey, drawing,
design, specification, plan or report is a violation of section
7206, provision 2 of the New York State Education Law.

Nussbaumer & Clark, Inc.

 ENGINEERS AND SURVEYORS
 3556 Lake Shore Road, Suite 500 | Buffalo, NY 14218
 (716) 627-8000 | (716) 270-0099 | fax
 www.nussbaumer.com
 Eric | Niagara | Cheektowake | Gettysburg

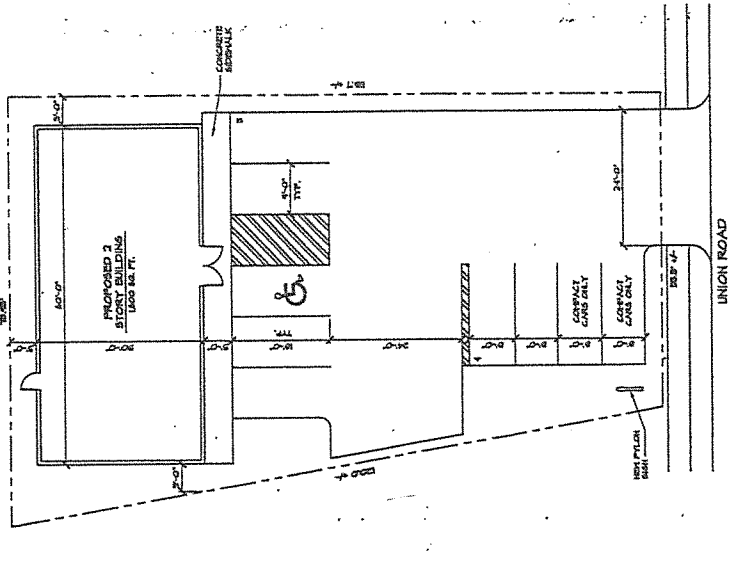
BOUNDARY SURVEY
 1197 UNION ROAD
 Part of Lot No. 77 of
 Lower Ebenezer
 Town of West Seneca
 County of Erie, State of New York
 Date of Survey: 07/08/16 Rev.: Scale: 1" = 20'

Project No. : 16J2-0835

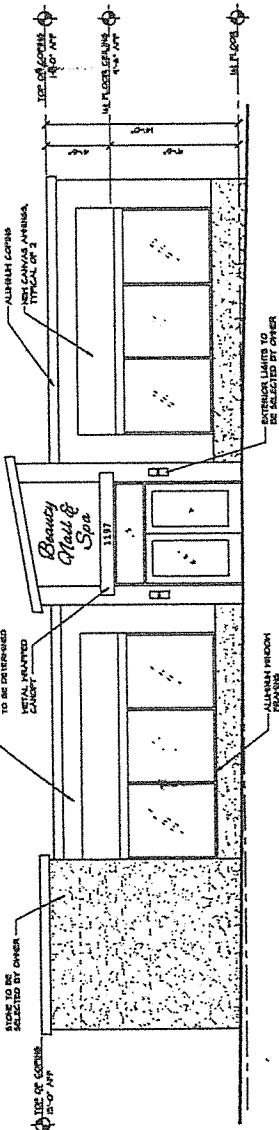
PROPOSED BUILDING 1197 UNION ROAD WEST SENeca, NEW YORK		DATE: JAN 17 DRAWN BY: [REDACTED] PROJECT NUMBER: [REDACTED]	SHEET NO. A-1
REVISIONS NO. DATE DESCRIPTION 1 11/17/17 [REDACTED]	2 11/17/17 [REDACTED]	3 11/17/17 [REDACTED]	4 11/17/17 [REDACTED]

SITE INFORMATION

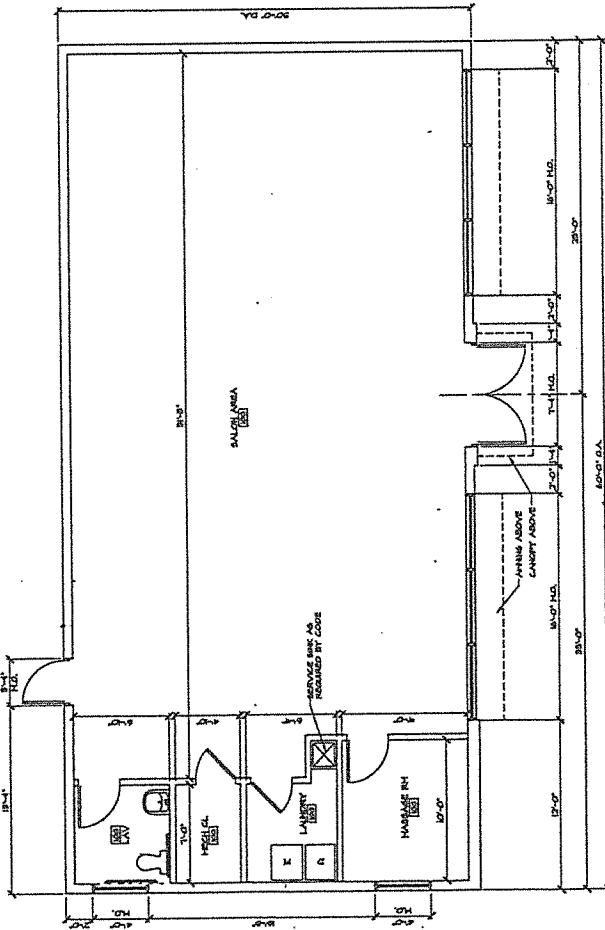
TOTAL SITE AREA	1000 SQUARE FEET
TOTAL BUILDING AREA	3540 SQUARE FEET
PARKING SPACES	8 REGULAR SPACES 1 TOTAL PARKING SPACES



1 SITE PLAN
SCALE 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

PRELIMINARY