

APPLICATION TO BOARD OF APPEALS

Tel. No. _____

Appeal No. 2018-001

Date 1-10-18

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) DESIREE MALACHOWSKI of 458 SOUTH OGDEN
BUFFALO NY 14206, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE
DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. _____,
DATED _____, 20____, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- A PERMIT FOR USE
- A PERMIT FOR OCCUPANCY
- A TEMPORARY PERMIT OR EXTENSION THEREOF
- A CERTIFICATE OF EXISTING USE
- A CERTIFICATE OF ZONING COMPLIANCE
- AREA PERMIT

1. Applicant is the
- PROPERTY OWNER
 - CONTRACTOR FOR THE WORK CONCERNED HEREIN
 - PROSPECTIVE TENANT OWNER
 - OTHER (Describe) _____

2. LOCATION OF THE PROPERTY 30 BURCH AVE

3. State in general the exact nature of the permission required, PERMISSION TO REDUCE LOT WIDTH,
LOT AREA AND PARKING FOR AN PRE-EXISTING - NON CONFORMING
HOUSE

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. _____, dated _____, 20____.

5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: _____

TRYING TO PURCHASE EXISTING 2 FAMILY - LENDING INSTITUTION
WILL NOT GRANT A LOAN FOR A PRE-EXISTING / NON-CONFORMING
HOUSE.

B. Interpretation of the Zoning Ordinance is requested because: _____

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article _____, Section _____, Subsection _____, Paragraph _____ of the Zoning Ordinance, because: _____

Desiree Malachowski
Signature

TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance

120-29 LOT WIDTH REQUIRED 60' - 30' PROVIDED / LOT AREA 8500 SQ FT
REQUIRED 3480 SQ FT PROVIDED

2. Zoning Classification of the property concerned in this appeal R-50

3. Type of Appeal:

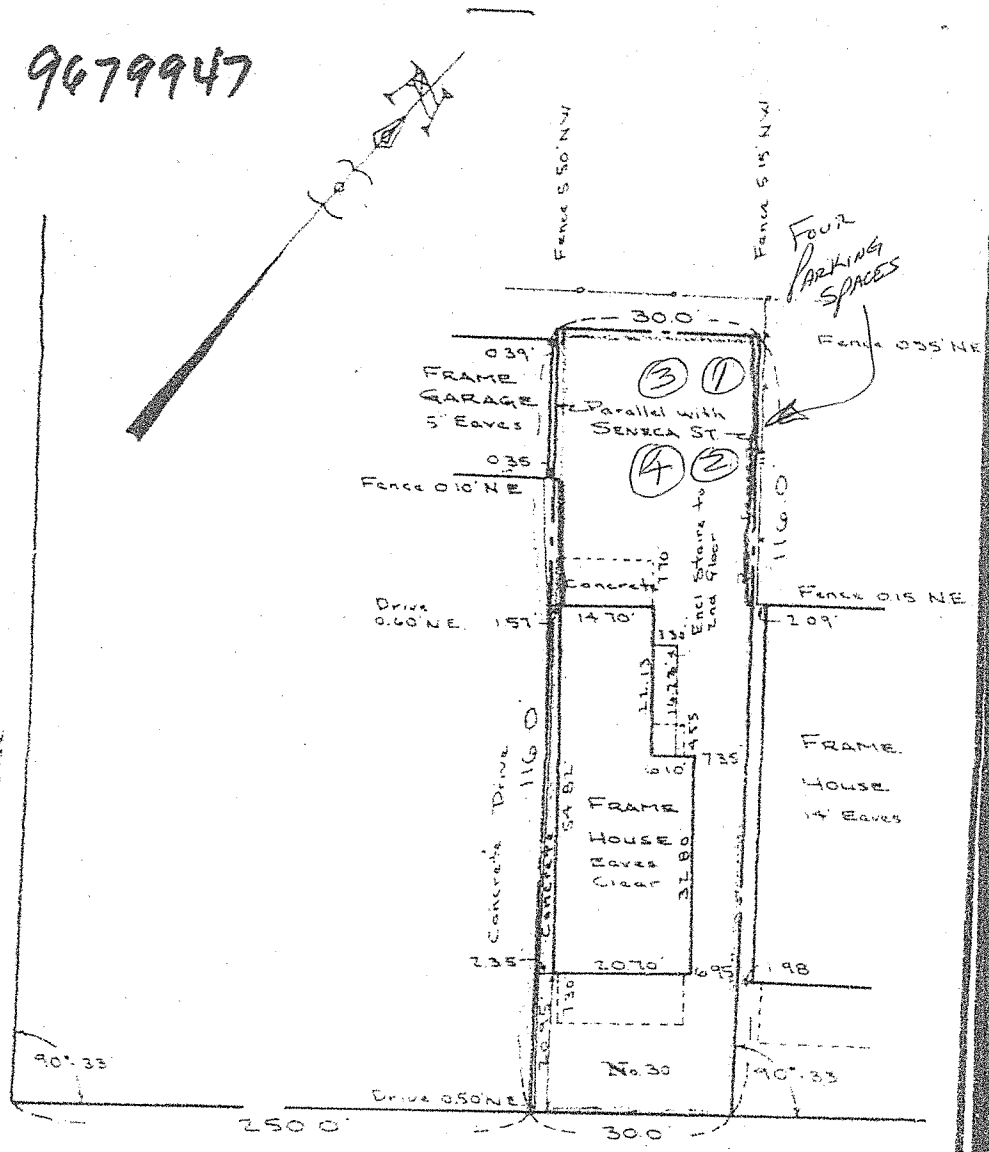
- Variance to the Zoning Ordinance.
- Interpretation of the Zoning Ordinance or Zoning Map
- Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

4. A statement of any other facts or data which should be considered in this appeal. _____

[Signature]

9679947

SENECA ST.
66' Wide



BURCH AVE.

(Formerly MARJORIE)
66' Wide 30' to Pavement

Sub Lot A6
Cover 322

WILLIAM C. SMITH

TOWN OF WEST SENECA, N.Y.

SURVEY BY WILLIAM C. SMITH & ASSOCIATES