

**ENGINEERS REPORT
Water and Sewer Services**

**3030 and 3036 Seneca Street - West Seneca, NY
The Broadway Group, LLC**

A. Facility/Project

Name:	<u>New Retail Store - West Seneca</u>
Mailing Address:	<u>PO Box 18968</u>
	<u>Huntsville, AL 35804</u>
Town/Village/City:	<u>Town of West Seneca</u>

B. Customer/Owner

Contact Person	<u>Tara Mathias</u>
Company	<u>The Broadway Group, LLC</u>
Mailing Address	<u>PO Box 18968</u>
	<u>Huntsville, AL 35804</u>

C. Engineer/Architect

Contact Person	<u>Andrea Paseur</u>
Company	<u>Paseur and Associates Architecture, LLC</u>
Mailing Address	<u>112-G Southside Squarre</u>
	<u>Huntsville, AL 35801</u>
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D. General Project Description

The project involves demolition of the existing structures and redevelopment of the site for a commercial retail store. The proposed store will be approximately 10,640 sq feet. The project includes a parking area, landscaping, storm water management, and connection to public utilities.

The site is approximately 1.18 acres and is zoned C-2 commercial.

The proposed building is a single story and will be used for a single-tenant occupancy. The finished floor elevation is 628 and there is no basement. It is not within a 100-year flood plain.

E. Project Location Map



F. Public Water Utilization

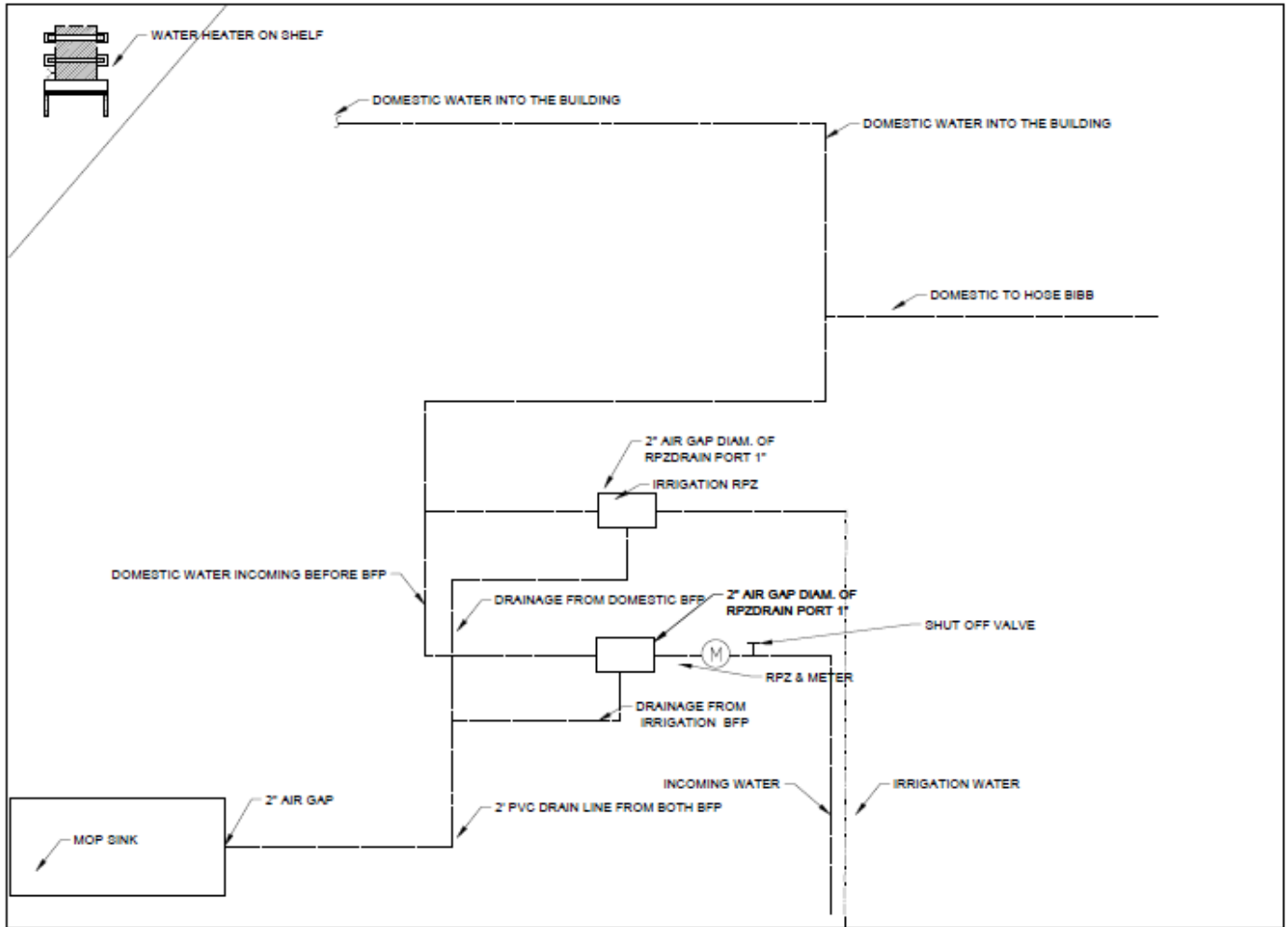
Public water will be used to support the following: 2 toilets, 2 lavatory sinks, 1 drink fountain, 1 mop sink, and irrigation.

The plan proposes a 3/4 to 1" service for the store's operations and irrigation. The site is currently served by public water and was formerly operated as a gas station and restaurant/night club. The proposal is to assess the existing water valve and service connection for re-use and arrange for a new tap as needed. Any other existing lines will be capped/removed from the site. The store will not receive water from any other supply source.

The maximum water demand of the store is 19 gpm. A typical store consumes less than 200 gallons of water per day. The utilization volume is based on the consumption of similar stores in operation.

An RPZ device is proposed (Watts 009). The device provides upstream pressure of 65 psi and downstream pressure of 10 psi. The RPZ is located on an interior wall in the Service Closet where it has adequate lighting for maintenance/testing and is protected from freezing conditions. The relief

port will drain to the sanitary sewer. A typical device elevation diagram is provided.:



G. Public Sanitary Sewer Utilization

Public sanitary sewer will be used to support the following: 2 toilets, 2 lavatory sinks, 1 drink fountain, and 1 mop sink. The store is expected to employ 8-10 workers with 2-3 workers for each shift.

The plan proposes a 4" sewer lateral. The site is currently served by the public sewer system. The proposal is to utilize the existing sewer tap if suitable for re-use.

Waste water generated is less than 200 gallons per day. The volume is based on the utilization of similar stores in operation.

H. Stormwater Calculations

The stormwater calculations are provided by Fisher Associates. Please reference the separately prepared SWPPP.

I. Signature

Mason A. Snow

12-16-2022

Engineer/Architect
Seal and Signature

Date



12-16-2022