

ABBREVIATIONS

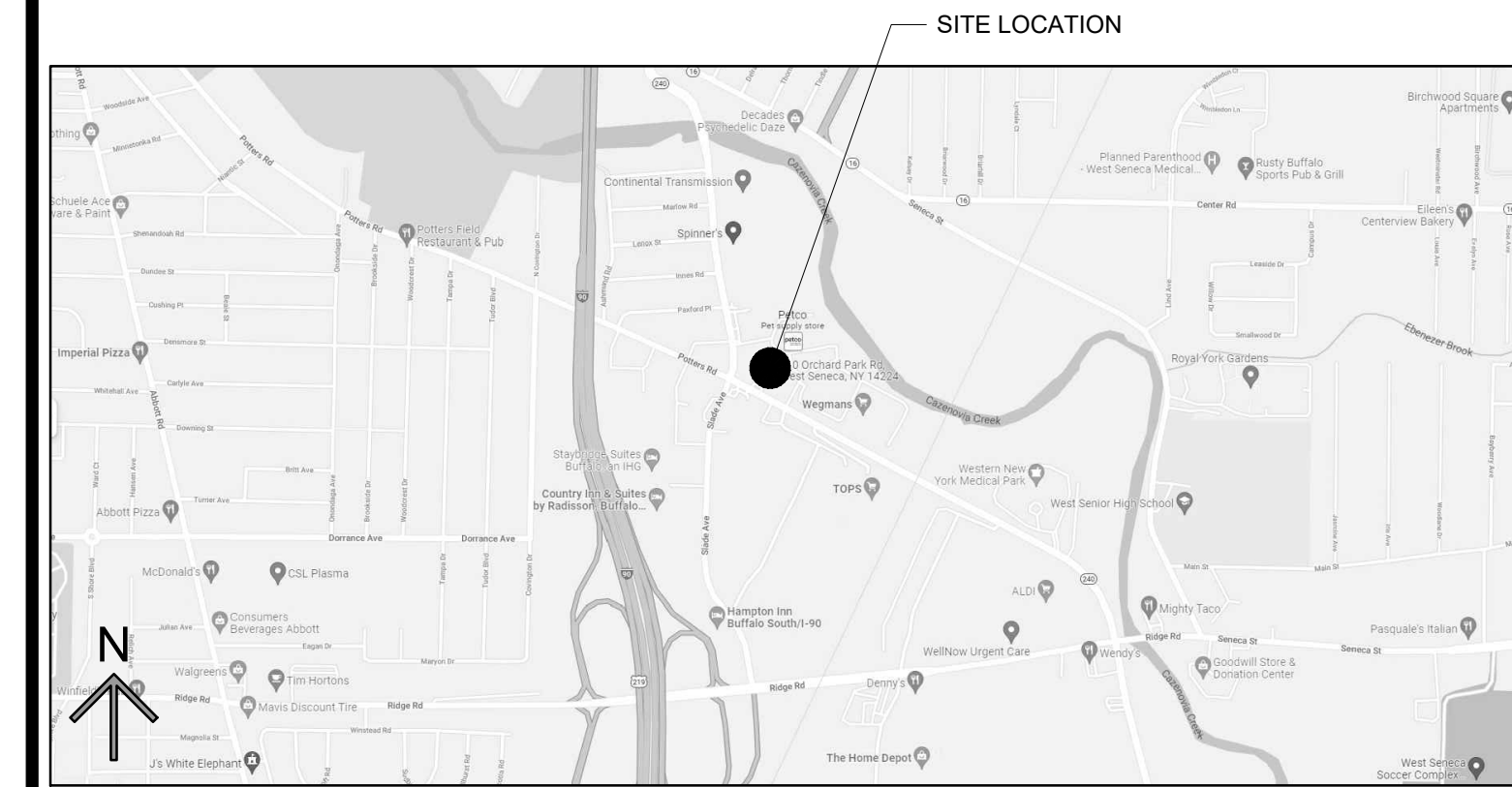
AFF	ABOVE FINISHED FLOOR	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
BD/BRD	BOARD	MEMB	MEMBRANE
BLDG	BUILDING	MFG/MANF	MANUFACTURER
BLK	BLOCKING	MIN	MINIMUM
BOT/B.O.	BOTTOM	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MO	MASONRY OPENING
CL/CCLR	CLEAR	MTL	METAL
CLG/CLNG	CEILING	MUL	MULLION
CMU	CONCRETE MASONRY UNIT	N	NORTH
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OPNG	OPENING
COORD	COORDINATE	PL	PLATE
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLYWD	PLYWOOD
DTL	DETAIL	PT/P.T.	PRESSURE TREATED
EIFS/E.I.F.S.	EXTERIOR INSULATION	PVMT	PAVEMENT
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL/ELEV	ELEVATION	REF	REFERENCE
EPS	EXPANDED POLYSTYRENE	REINF	REINFORCING
EQ	EQUAL	REQ/REQ'D	REQUIRED
EXIST/EX	EXISTING	RM	ROOM
EXP	EXPANSION	SAN	SANITARY
EXT/EXTR	EXTERIOR	SCHED	SCHEDULE
FIN	FINISH	SECT	SECTION
FL/FLR	FLOOR	SHT	SHEET
FTG	FOOTING	SHTH	SHEATHING
FURR	FURRING	SIM	SIMILAR
GA	GAUGE	SPEC	SPECIFICATIONS
GWB	GYPSUM WALL BOARD	SYS	SYSTEM
GYP	GYPSUM	THK	THICKNESS
HC	HANDICAPPED	T.O.	TOP
HM	HOLLOW METAL	TOJ	TOP OF JOIST
INSUL	INSULATION	TOS	TOP OF STEEL
INT/INTR	INTERIOR	TYP	TYPICAL
JT	JOINT	W	WITH
MATL	MATERIAL	WD	WOOD
		WWF	WELDED WIRE FABRIC

SITE DEVELOPMENT FOR:



310 ORCHARD PARK ROAD
WEST SENECA, NEW YORK 14224

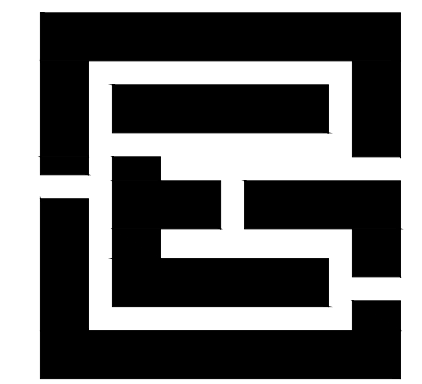
LOCATION MAP



SYMBOLS

SECTION IDENTIFICATION	
ELEVATION IDENTIFICATION	
DETAIL IDENTIFICATION	
DRAWING TITLE IDENTIFICATION	
ROOM NAME & NUMBER IDENTIFICATION	
NORTH ARROW	
REVISION NUMBER	
PARTITION / SOFFIT TYPE IDENTIFICATION	
DOOR NUMBER IDENTIFICATION	
WINDOW NUMBER IDENTIFICATION	

RACHEL'S GRILL
285 DELAWARE AVENUE
BUFFALO, NY 14202



LAUER-MANGUSO
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4080 Ridge Lea Road
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OWNERS

ARCHITECTS, ENGINEERS, LANDSCAPE ARCHITECT

DRAWING INDEX

TITLE SHEET	C-0.0
<u>CIVIL</u>	
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PHOTOMETRIC PLAN	WLS
BOUNDARY & TOPOGRAPHIC SURVEY	MM&D
<u>ARCHITECTURAL</u>	
FLOOR PLAN	A-1.0
EXTERIOR ELEVATIONS	A-2.0

PROJECT DATA:

GROSS BUILDING AREA:	+/-1,749 SF
ZONING DISTRICT:	C-2 (S) COMMERCIAL
CONSTRUCTION TYPE:	II-B
MAXIMUM BUILDING HEIGHT:	25'-0"
NUMBER OF STORIES:	1
SPRINKLERS:	NO

CURRENT ISSUE DATE:

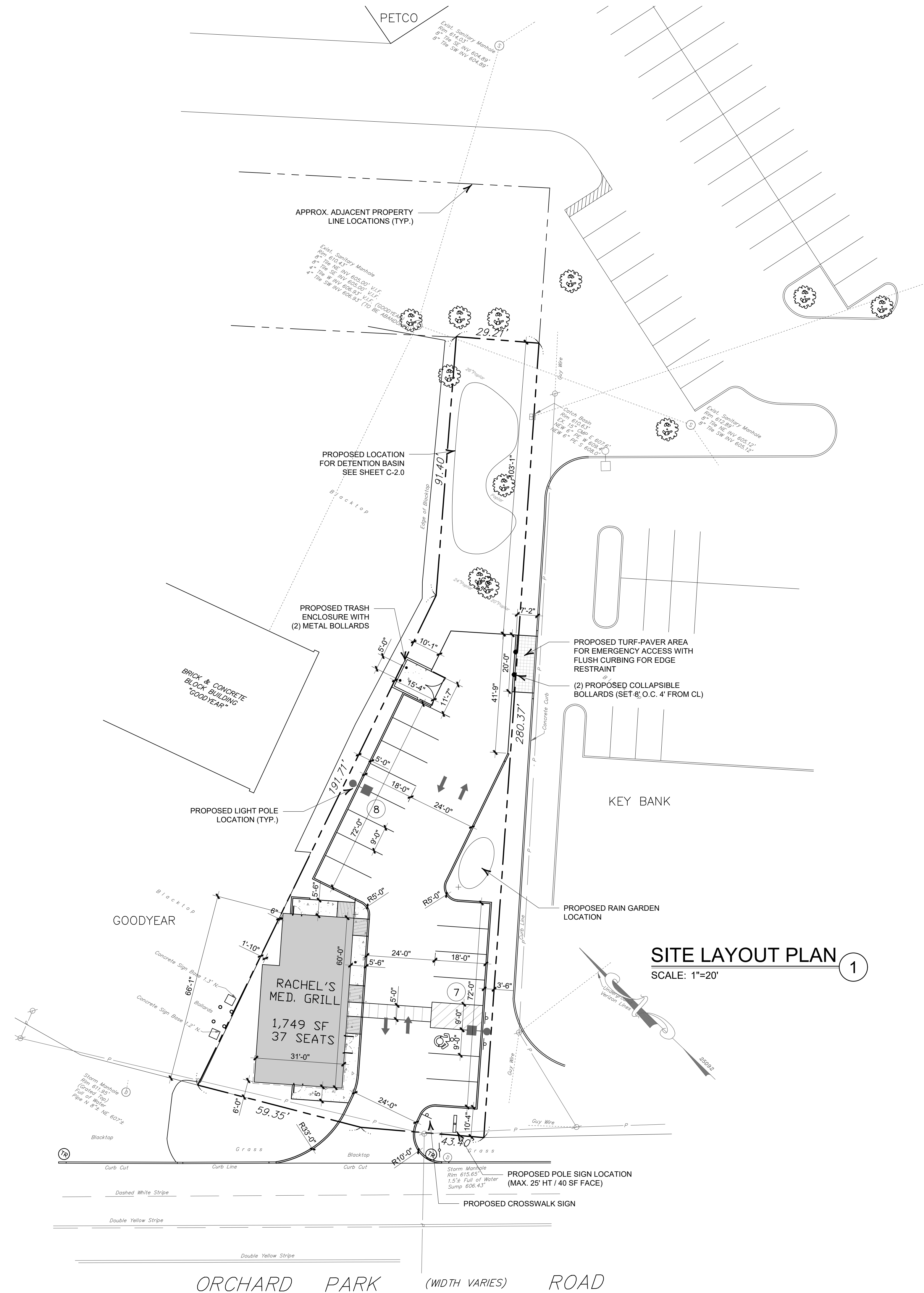
ISSUED FOR REVIEW 11/18/22



LMA JOB NUMBER: 21034

GENERAL NOTES:

- FOR REFERENCE INFORMATION SEE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY MILLARD, MACKAY & DELLES LAND SURVEYORS, LLP, DATED OCTOBER 8, 2021, INCLUDED WITH THIS SET OF PLANS.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT NEW YORK STATE CODE REQUIREMENTS AND THE LATEST A.I.S.C., A.C.I., O.S.H.A., AND A.S.T.M. STANDARDS. WHERE CODES OVERLAP, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT CODE.
- WHERE A SPECIFIC MANUFACTURER'S PRODUCT IS CALLED OUT ON THIS SHEET OR ANY OTHER PLAN IN THIS SET OF DRAWINGS, THE CONTRACTOR MUST COMPLY WITH THE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
- DURING CONSTRUCTION THE CONTRACTOR SHALL ERECT AND MAINTAIN AS NECESSARY ALL TEMPORARY BARRICADES, SAFETY FENCING, CAUTION LIGHTS, OR SIGNAGE TO PROTECT THE WORK ACTIVITY AND TO ENSURE PUBLIC SAFETY. LAUER-MANGUSO & ASSOC. IS NOT RESPONSIBLE FOR ANY INJURIES TO WORKERS OR PEDESTRIANS AS RESULT OF EXCAVATION OR CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL CONFORM TO N.Y.S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS TO EXISTING BUSINESS WHICH WILL REMAIN IN OPERATION THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- ANY CAST-IN-PLACE CONCRETE SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATIONS (SECTION 501). USE CLASS "C" FOR DUMPSTER ENCLOSURES, APRONS, OR STRUCTURAL SLABS. USE CLASS "D" FOR SIDEWALKS AND ALL OTHER GENERAL PURPOSE CONCRETE PAVEMENT ON SITE. CEMENT USED TO PRODUCE CONCRETE SHALL CONFORM WITH BOTH ACI 318 AND ASTM C1157.
- ALL CONCRETE CURBS, SIDEWALKS, APRONS, AND PADS SHALL BE CURED BY SPRAYING ON A PIGMENTED CURING COMPOUND CONFORMING TO A.S.T.M. C309.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. ANY DISCREPANCIES BETWEEN REAL LIFE CONDITIONS AND THIS SET OF SITE PLAN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF LAUER-MANGUSO & ASSOC. IMMEDIATELY FOR FURTHER INSTRUCTIONS. FAILURE TO NOTIFY LAUER-MANGUSO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF ALL THE CONDITIONS SHOWN ON THIS SET OF SITE PLANS.
- ANY DEVIATION FROM ANY PLANS IN THIS DRAWING SET SHALL REQUIRE APPROVAL OF LAUER-MANGUSO & ASSOC. AND THE CITY OF BUFFALO PLANNING AND BUILDING DEPARTMENTS, AS WELL AS THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS.
- ALL CONSTRUCTION OR EXCAVATION ACTIVITIES SHALL STRICTLY COMPLY WITH THE LATEST SAFETY STANDARDS AND REGULATIONS SET FORTH BY O.S.H.A., THE NEW YORK STATE HIGH VOLTAGE PROXIMITY ACT, AND NEW YORK STATE INDUSTRIAL CODE RULE 53.
- THE CONTRACTOR SHALL MAINTAIN INSURANCE THAT SHALL PROTECT HIM/HER FROM ANY LIABILITY UNDER WORKER'S COMPENSATION ACTS AND OTHER EMPLOYEE BENEFIT ACTS IN COMPLIANCE WITH THE LAWS OF NEW YORK STATE, AND FROM LIABILITY FOR PROPERTY DAMAGES, BODILY INJURY, OR DEATH.



CODE & SITE DATA

PROJECT PARCEL AREA = 0.35 ACRES +/-
ZONING DISTRICT: C-2 (S) COMMERCIAL DISTRICT

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT	40' or 50'	0'
SIDE	0' or 5'	0'
REAR	10'-0"	213'-6"

BUILDING SETBACK VARIANCE:
AT THEIR MEETING ON 9/1/21, THE TOWN OF WEST SENECA ZONING BOARD OF APPEALS APPROVED AN AREA VARIANCE TO ALLOW 0' BUILDING SETBACK.

PARKING	REQUIRED	PROVIDED
EXISTING	N/A	8
PROPOSED	15 SPACES	15 SPACES
HANDICAP	1 SPACE	1 SPACE

VEHICULAR PARKING CALC.:
2 SPACES REQUIRED FOR EVERY 5 SEATS
37 SEATS = 37 / 5 = 7.4 x 2 = 14.8 = 15 SPACES REQUIRED

PARKING SETBACK VARIANCE:
AT THEIR MEETING ON 9/1/21, THE TOWN OF WEST SENECA ZONING BOARD OF APPEALS APPROVED AN AREA VARIANCE TO ALLOW 3'-6" AND 5'-0" PARKING SETBACKS FROM SIDE YARD PROPERTY LINES.

POLE SIGN SETBACK VARIANCE:
AT THEIR MEETING ON 9/1/21, THE TOWN OF WEST SENECA ZONING BOARD OF APPEALS APPROVED AN AREA VARIANCE TO ALLOW THE PROPOSED POLE SIGN TO BE LOCATED WITHIN 10' OF THE FRONT YARD BOUNDARY LINE (NO PORTION OF THE SIGN FACE SHALL BE CLOSER THAN 2' FROM THE BOUNDARY LINE).

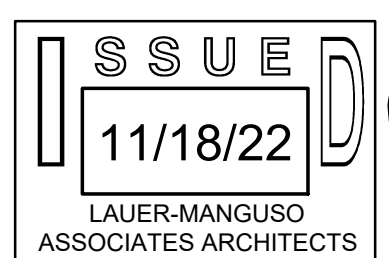
No.	Description	Date
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-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

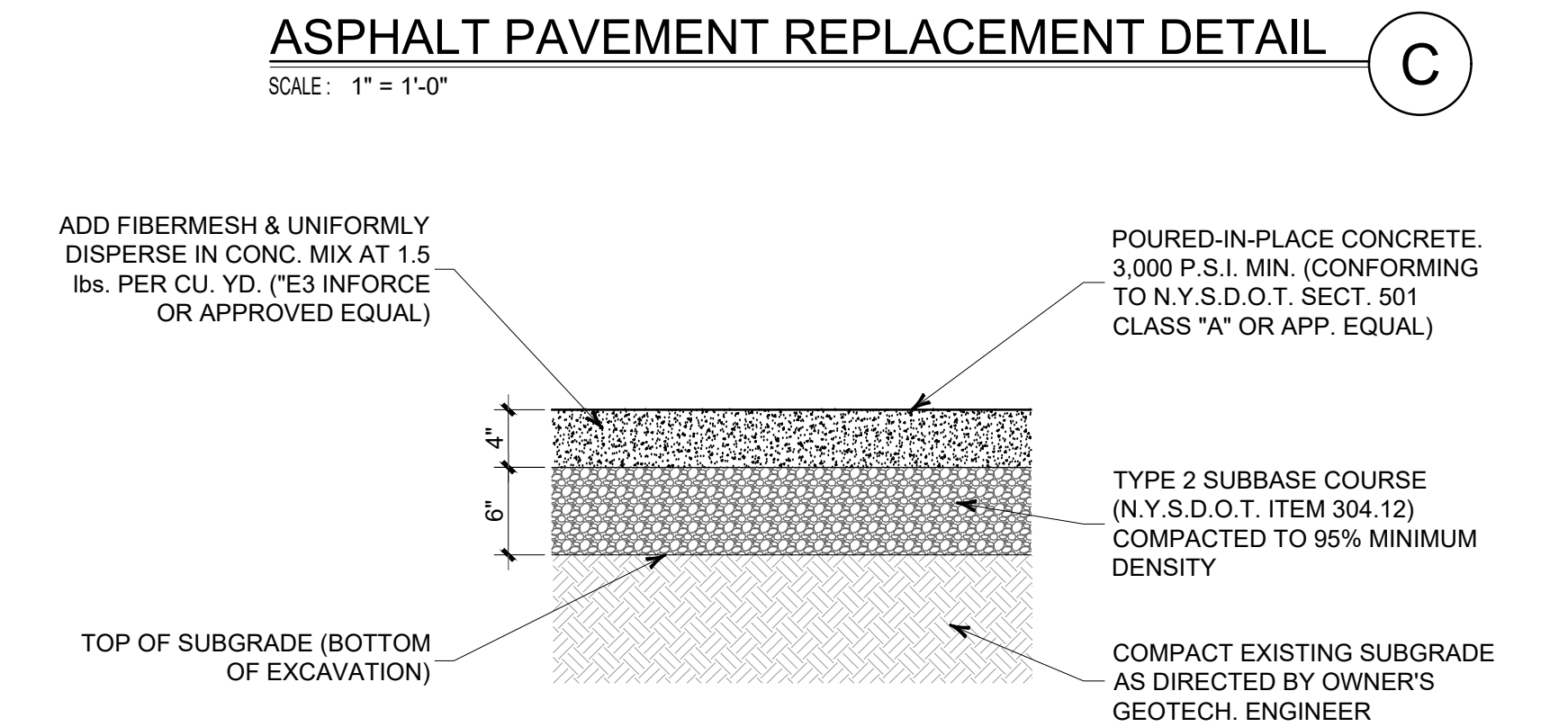
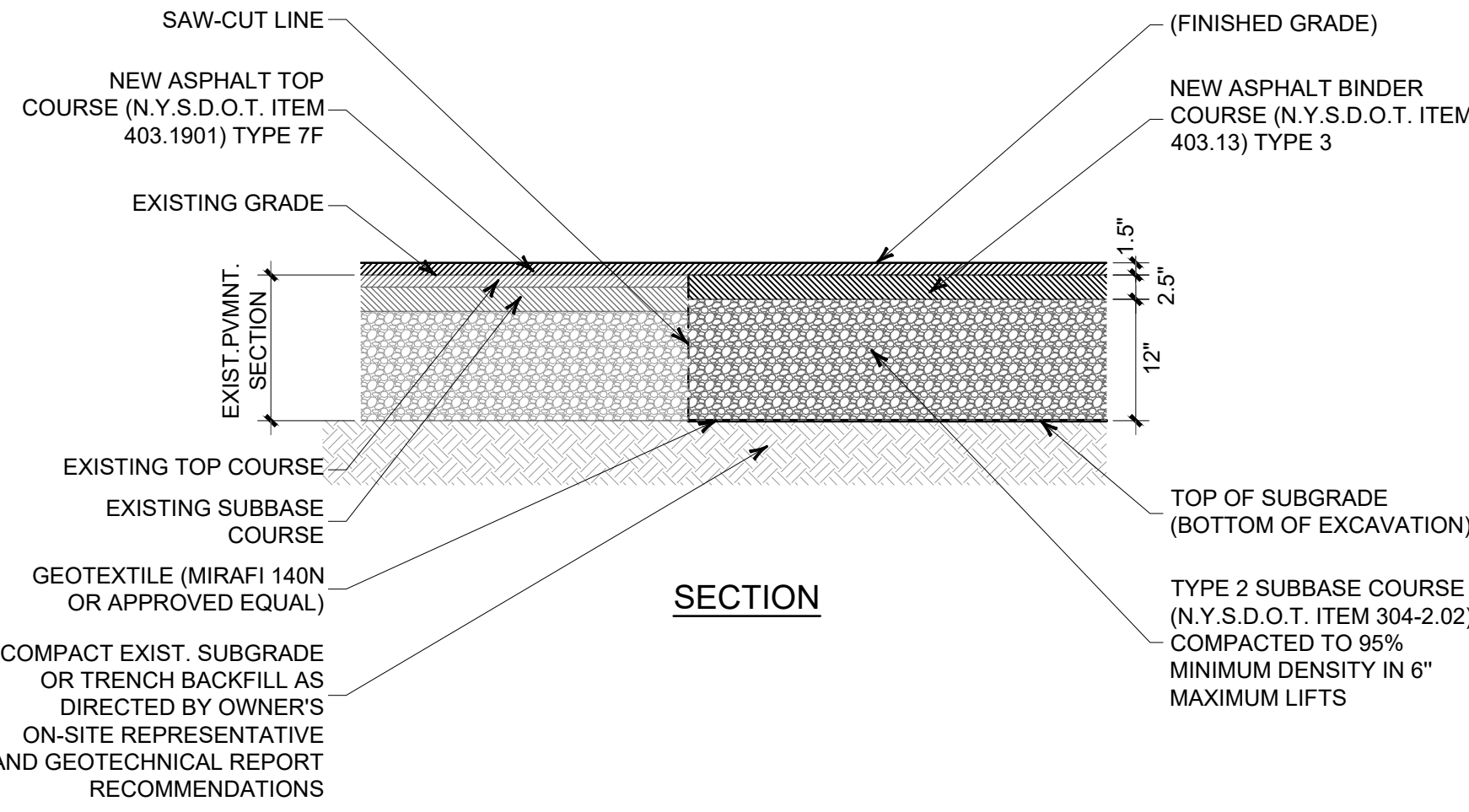
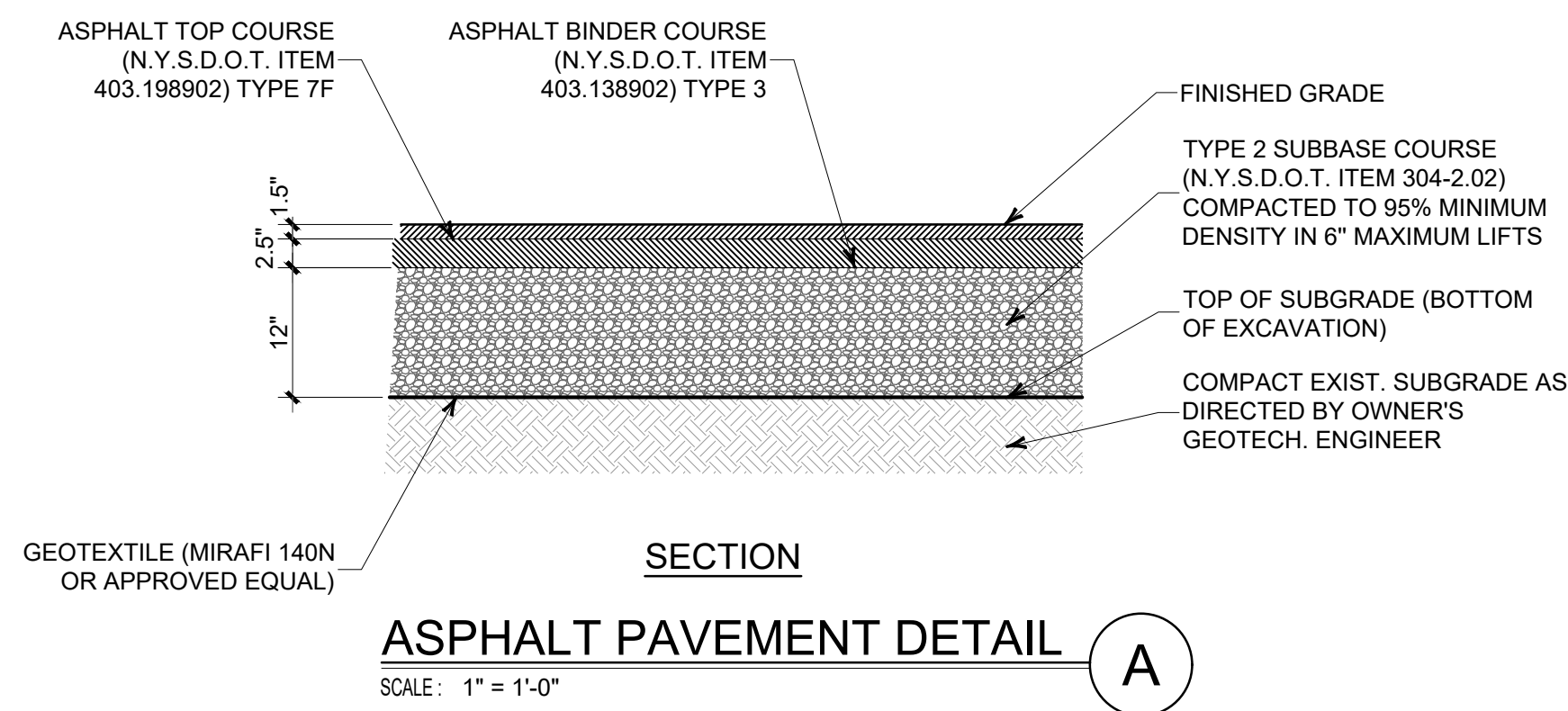
RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

SITE LAYOUT PLAN



LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

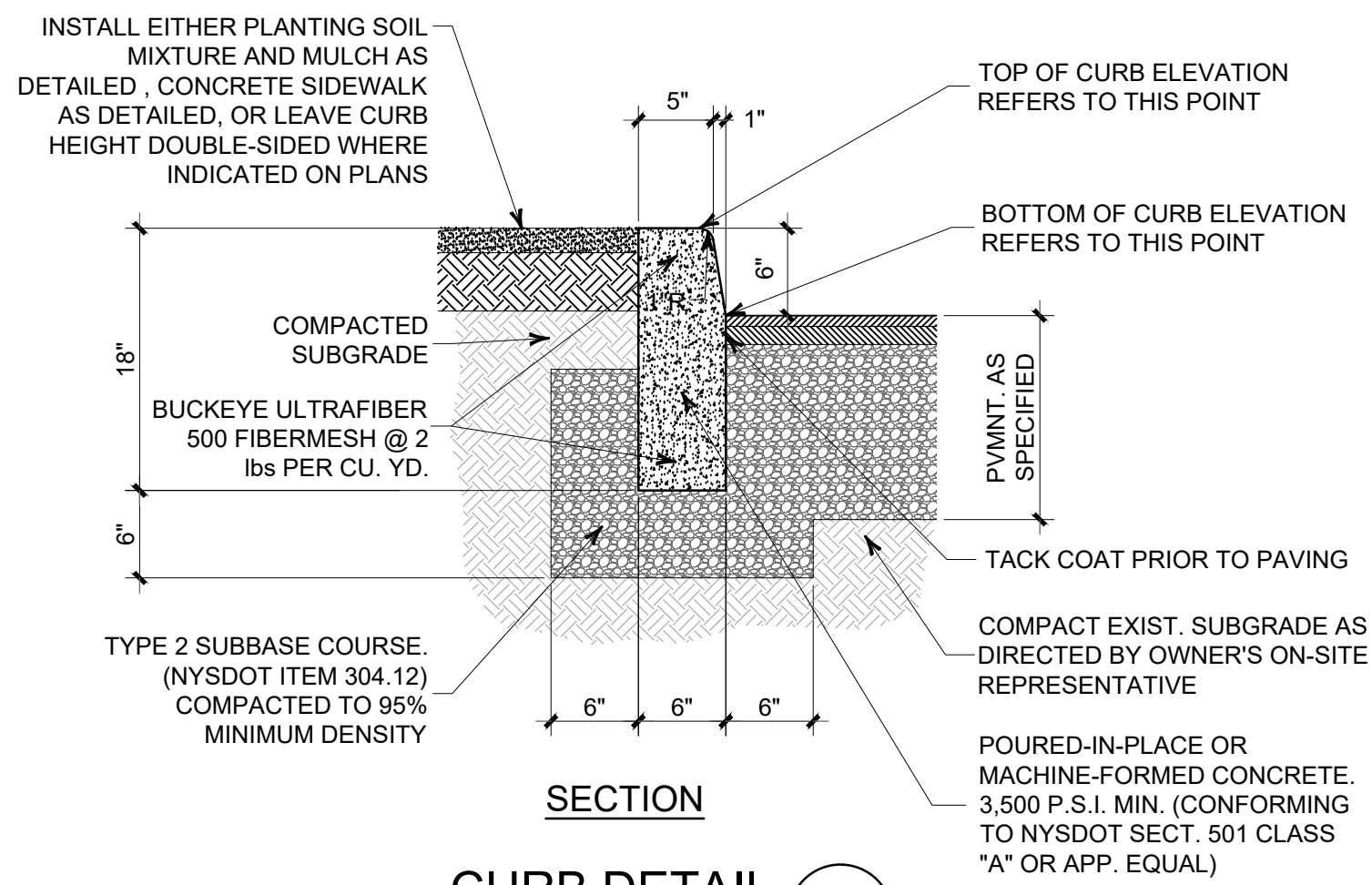
Date: 5/3/2021 Drawing No. C-1.0
Drawn By: RJB
Checked By: JAM
Job Number: 21034



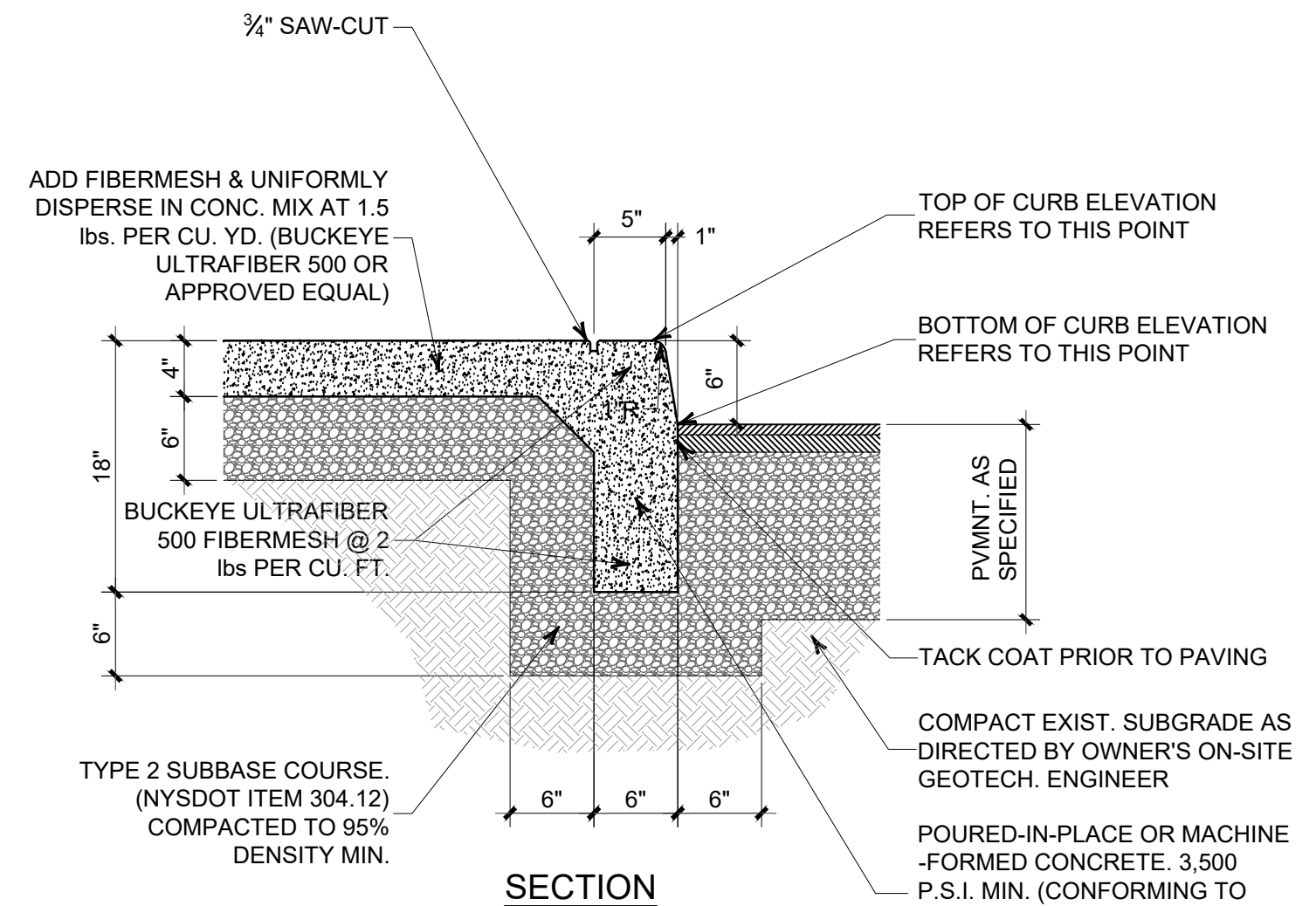
SIDEWALK / CONCRETE PAD DETAIL (B)
SCALE: 1" = 1'-0"

NOTES:

1. ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608-3.
2. ALL CONCRETE AREAS SHALL BE SCORED 5' ON CENTER WITH TOOLED TRANSVERSE CONTROL JOINTS 1-1/2 INCHES DEEP.
3. EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 25' ON CENTER AND SHALL HAVE A 1/4 INCH EDGE RADIUS. ALL SIDEWALK EDGES SHALL BE TOOLED.
4. INSTALL 1/2 INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL JOINTS.
5. DOWEL PAD INTO FOUNDATION WALL TO PREVENT FROST HEAVE WHERE ADJACENT TO BUILDINGS.
6. IN DRIVEWAY STACKING AND TRASH ENCLOSURE AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 6 INCHES AND SUBBASE COURSE SHALL BE INCREASED TO 12" DEPTH.

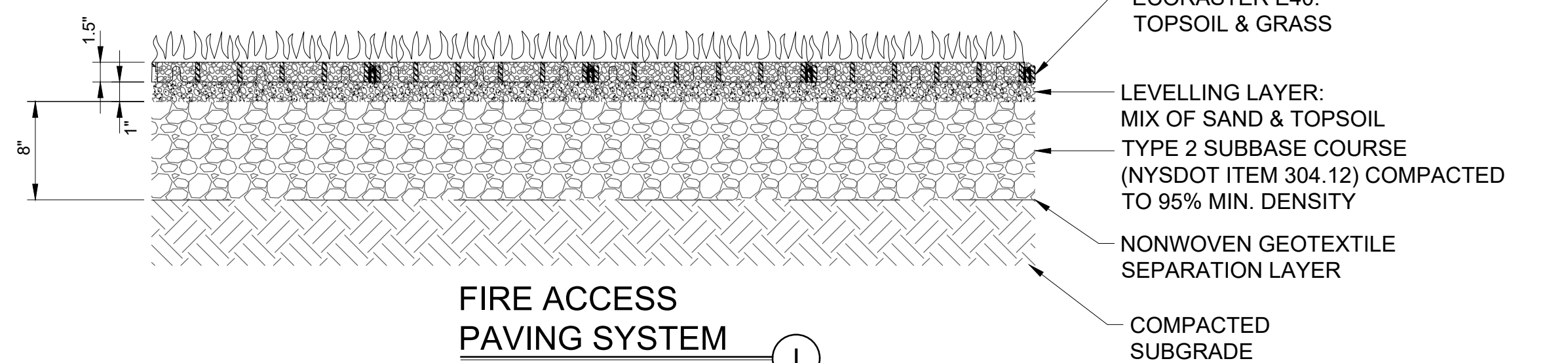
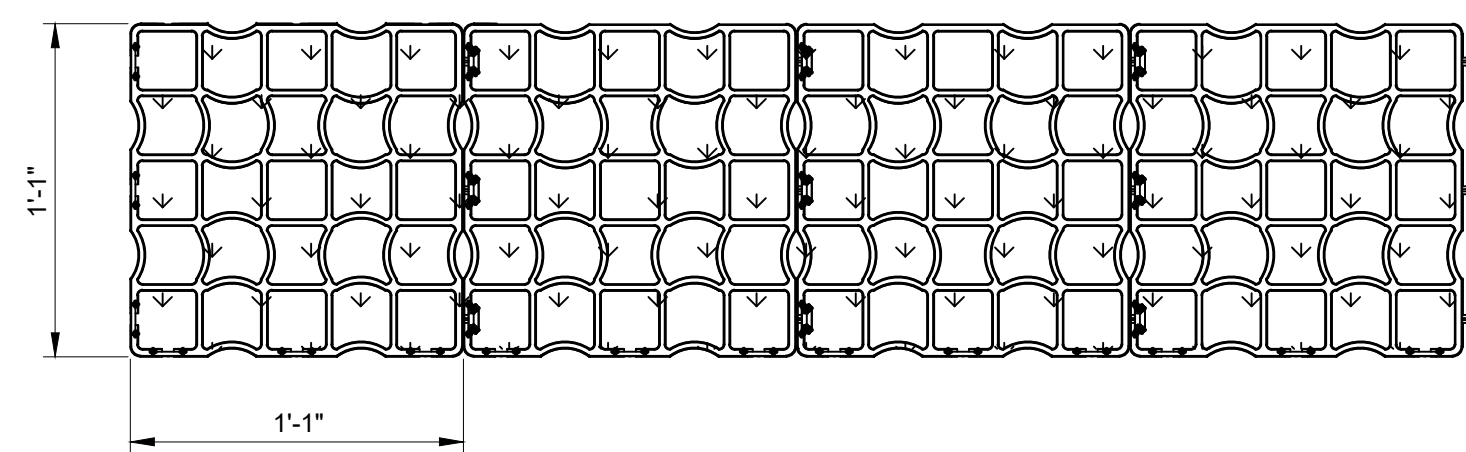


CURB DETAIL (D)
SCALE: 1" = 1'-0"

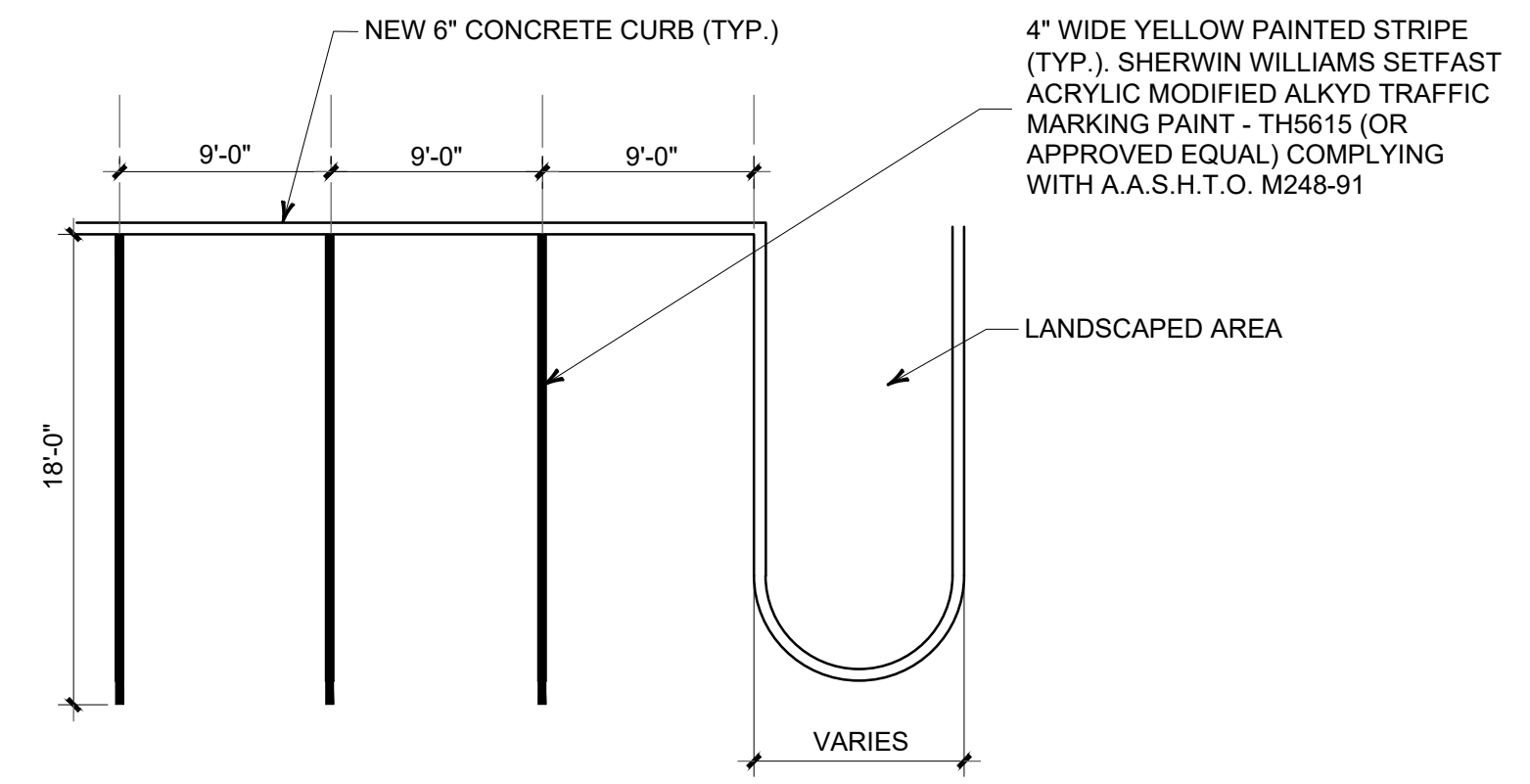


INTEGRAL CURB-WALK DETAIL (F)
SCALE: 1" = 1'-0"

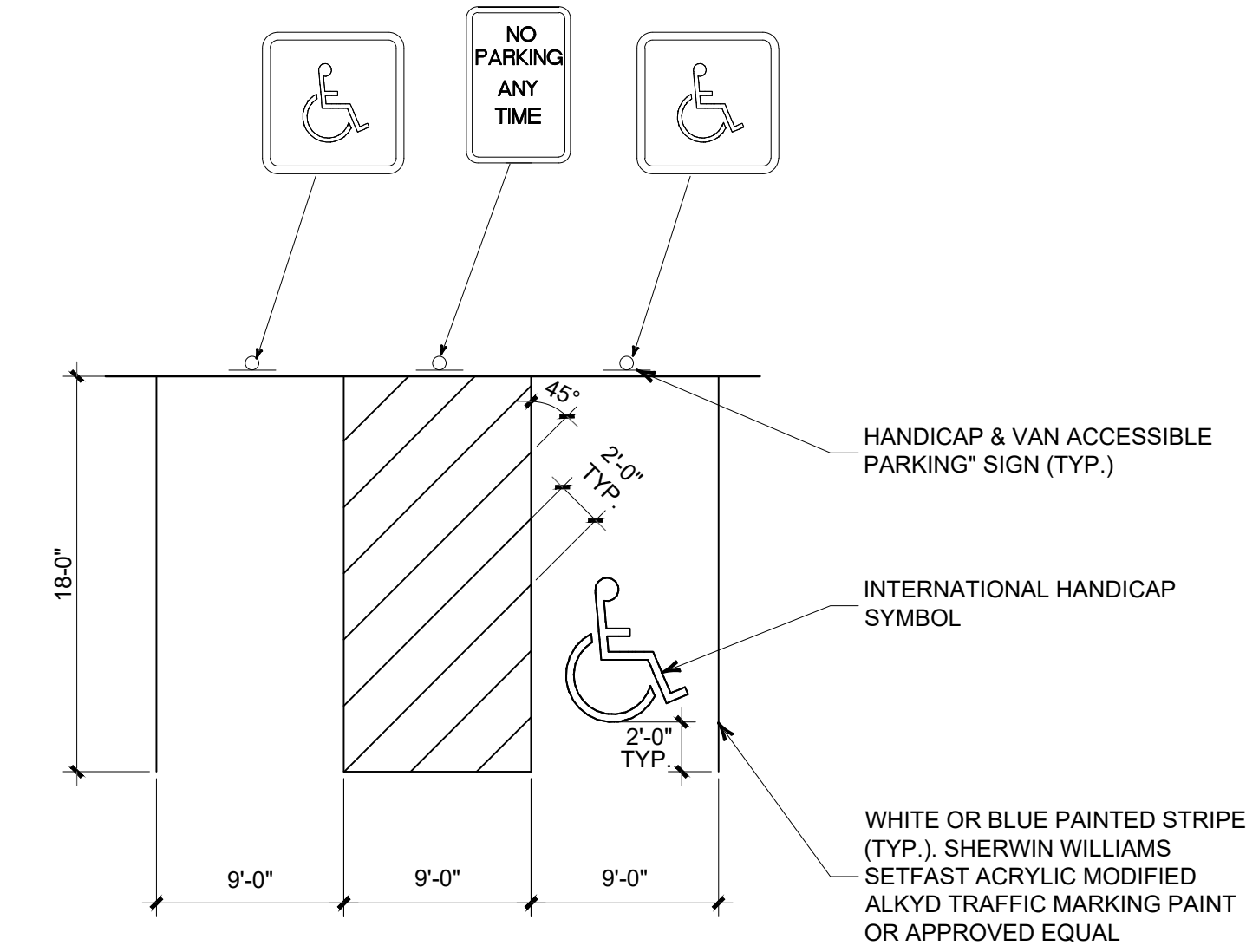
NOTE:
PROVIDE DOWELS @ 12" C-C INTO FOUNDATION WHERE SIDEWALK ABUTS AGAINST BUILDING WALL TO PREVENT FROST HEAVING



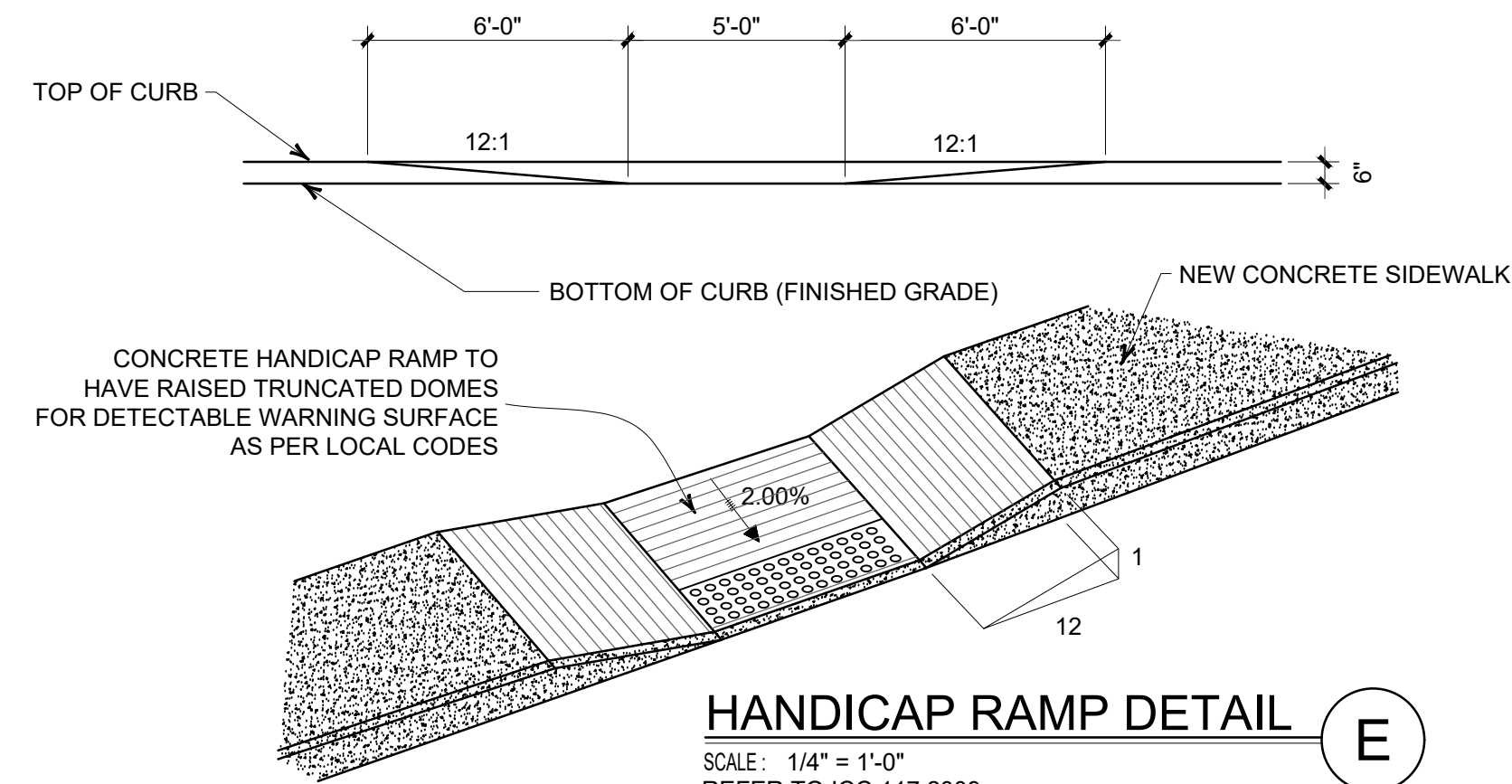
FIRE ACCESS PAVING SYSTEM (I)
SCALE: 1/16" = 1'-0"



90° PARKING STRIPE LAYOUT DETAIL (G)
SCALE: 1/8" = 1'-0"



HANDICAP PARKING STRIPING DETAIL (H)
SCALE: 1/8" = 1'-0"



HANDICAP RAMP DETAIL (E)
SCALE: 1/4" = 1'-0"
REFER TO ICC 117 2009

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REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

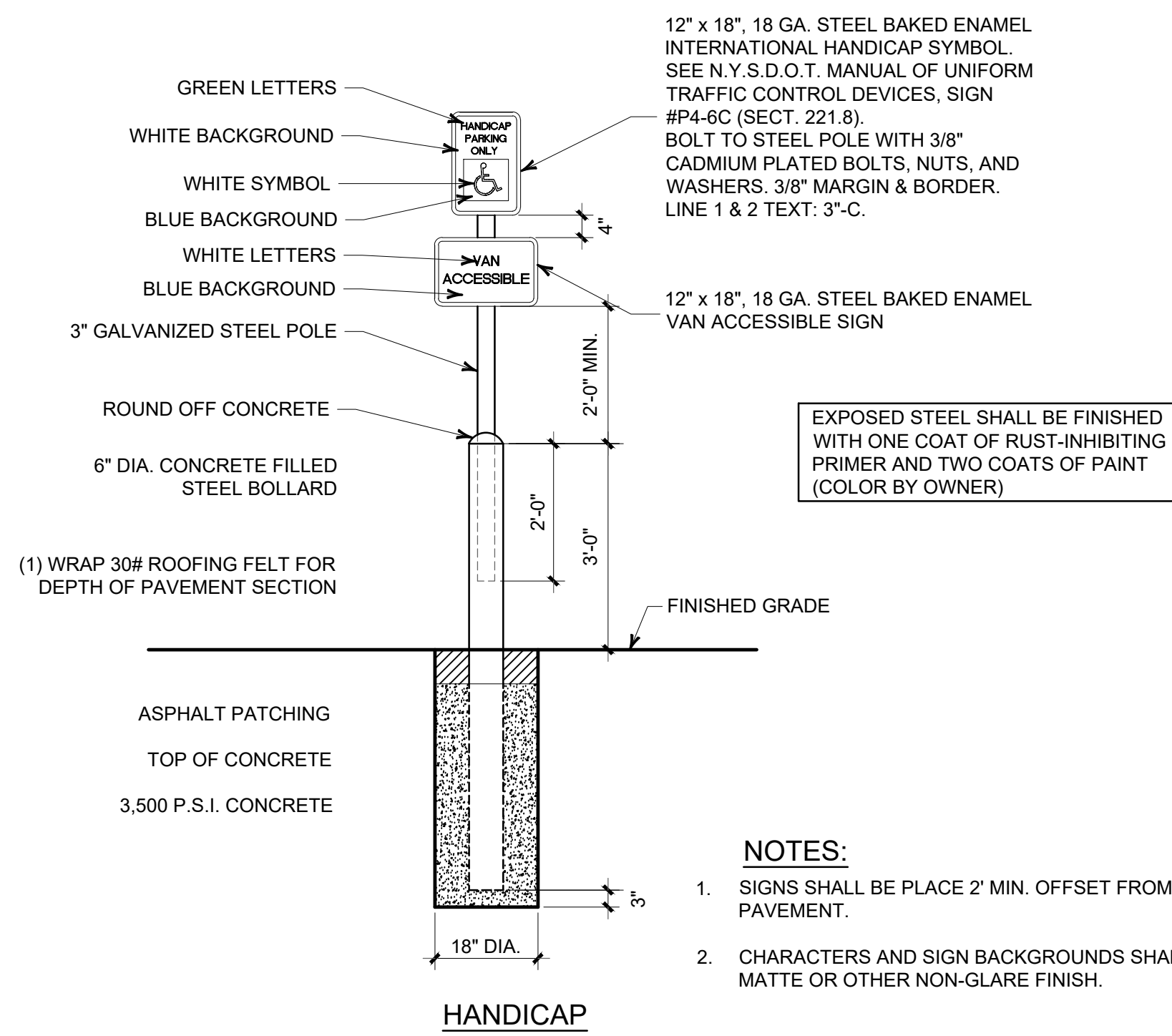
RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

PAVEMENT DETAILS

ISSUE
11/18/22
LAUER-MANGUSO ASSOCIATES ARCHITECTS

LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

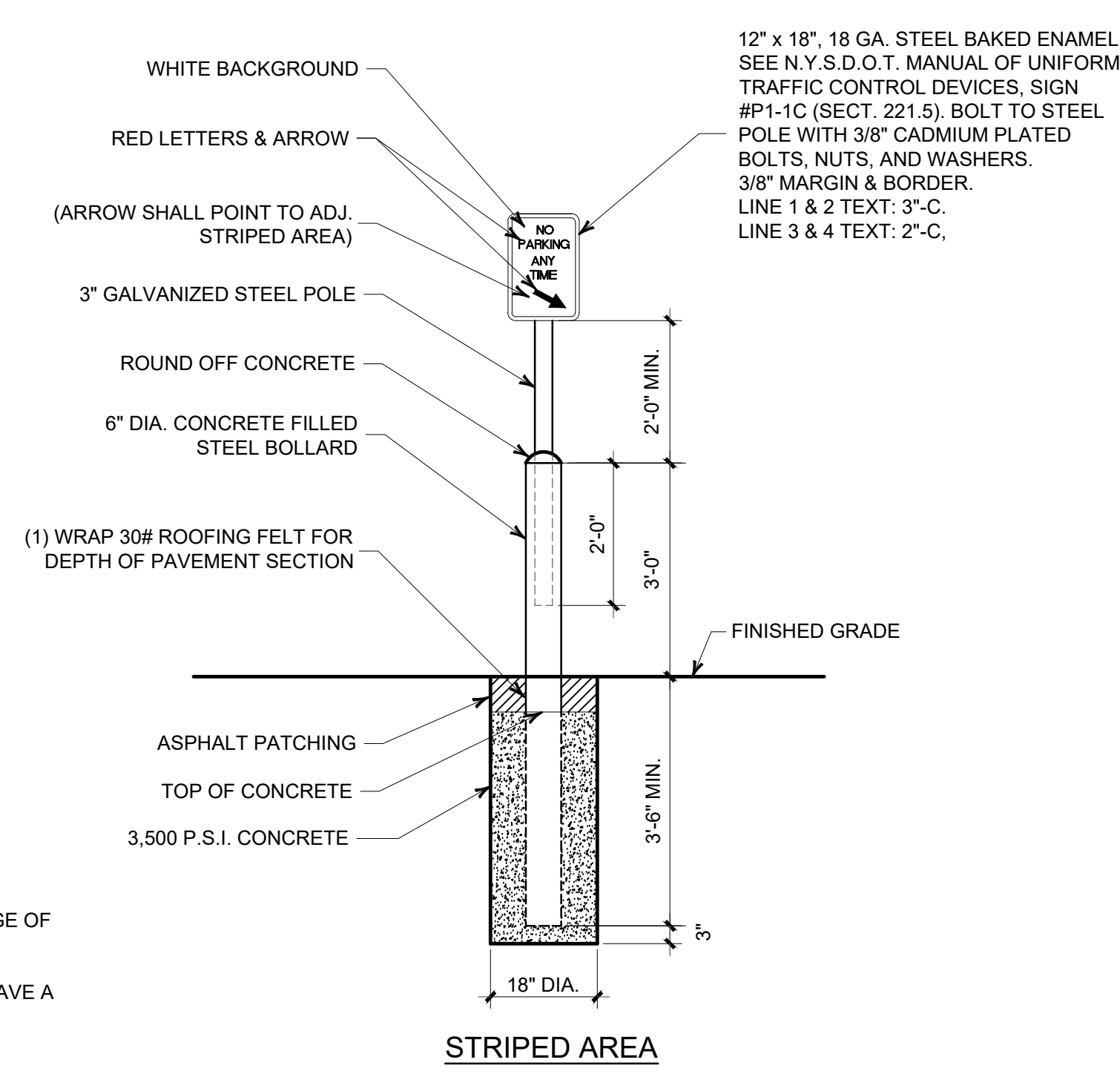
Date: 5/3/21
Drawing No. **C-1.1**
Drawn By: RJB
Checked By: JAM
Job Number: 21034



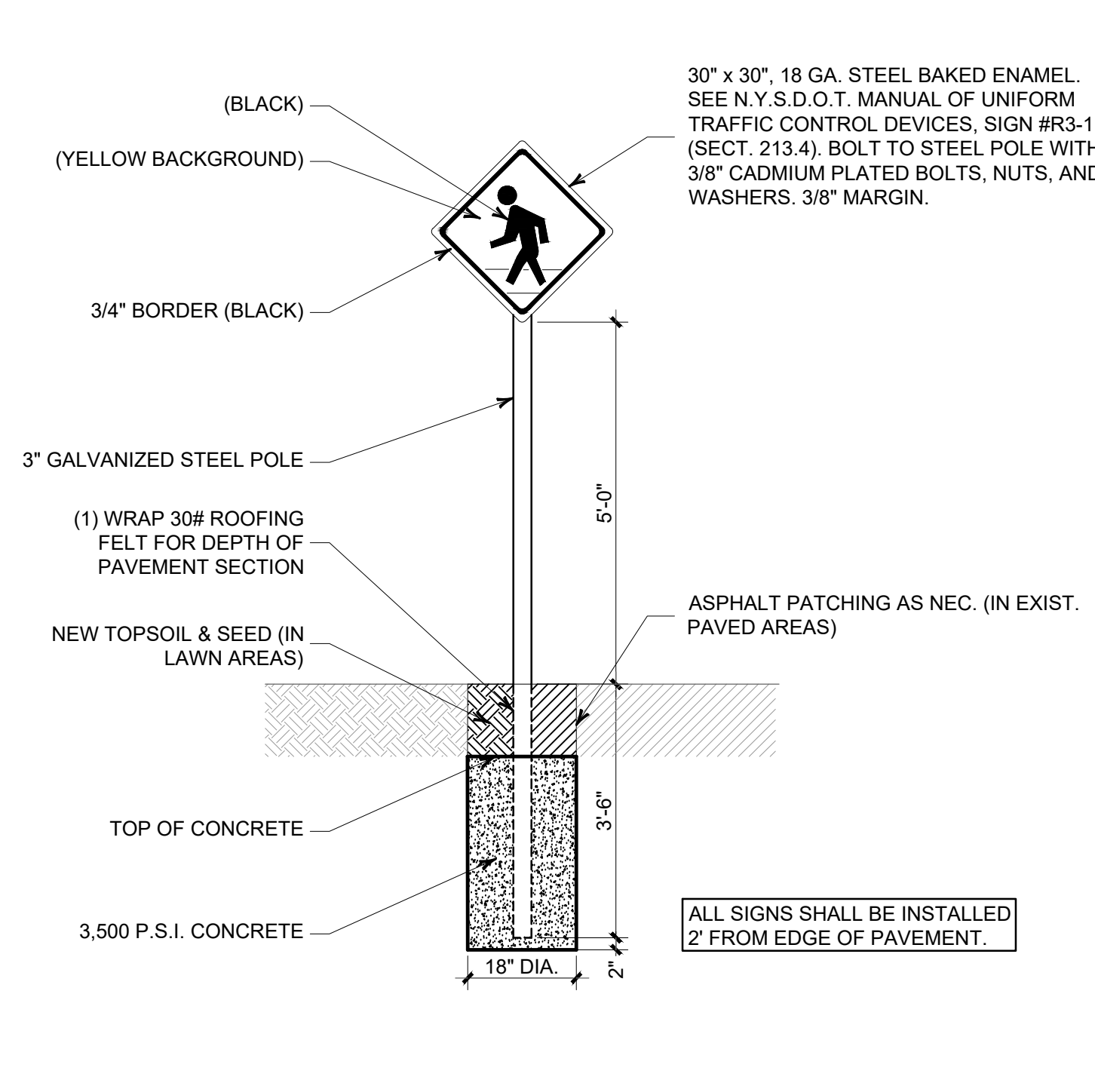
HANDICAP

HANDICAP PARKING SIGNS

SCALE: 1/2" = 1'-0"
NOTE: REFER TO CABO/ANSI A117.1 - 1992 SEC. 4.28
FIG. B 4.28.8.1

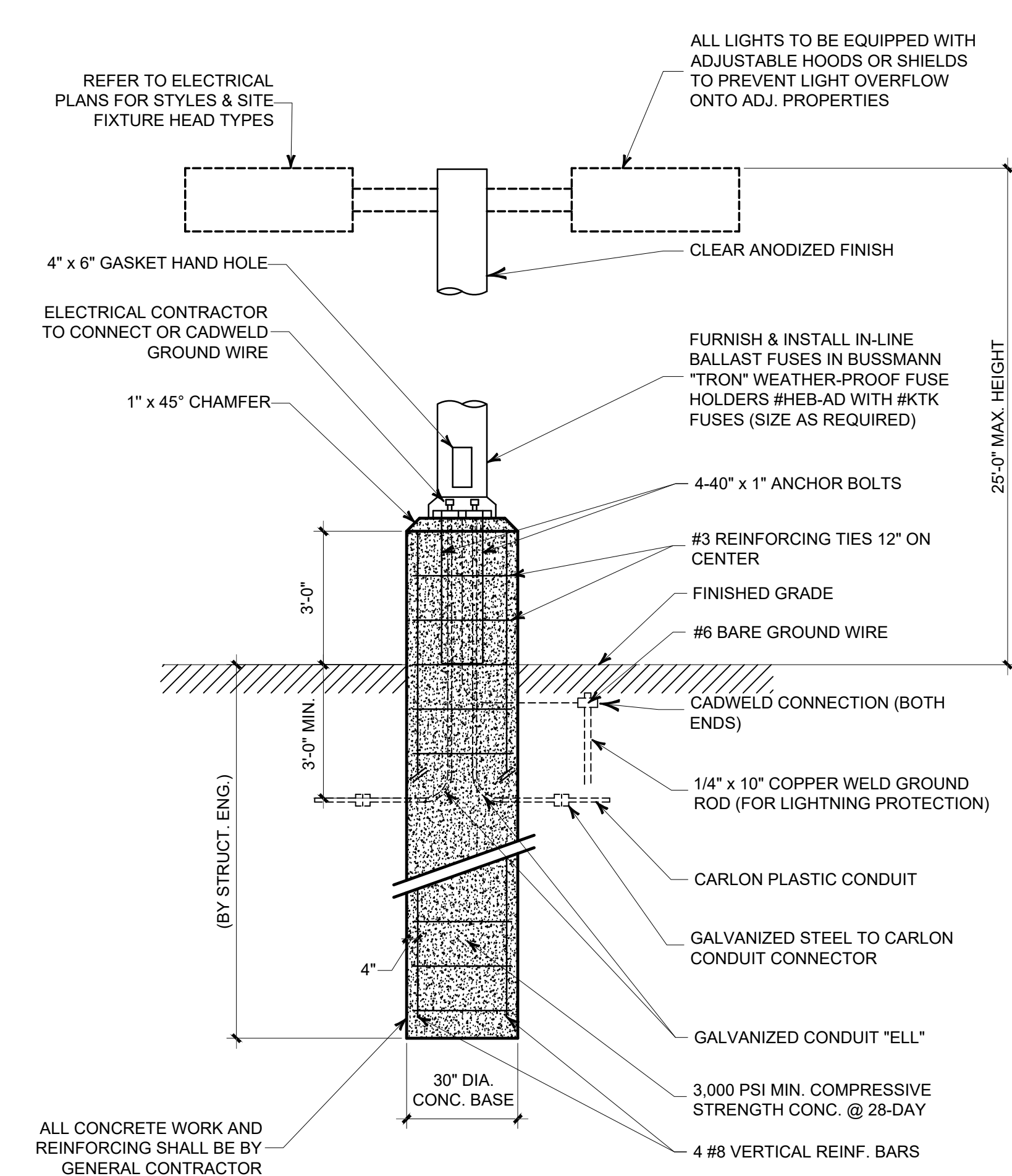


STRIPED AREA



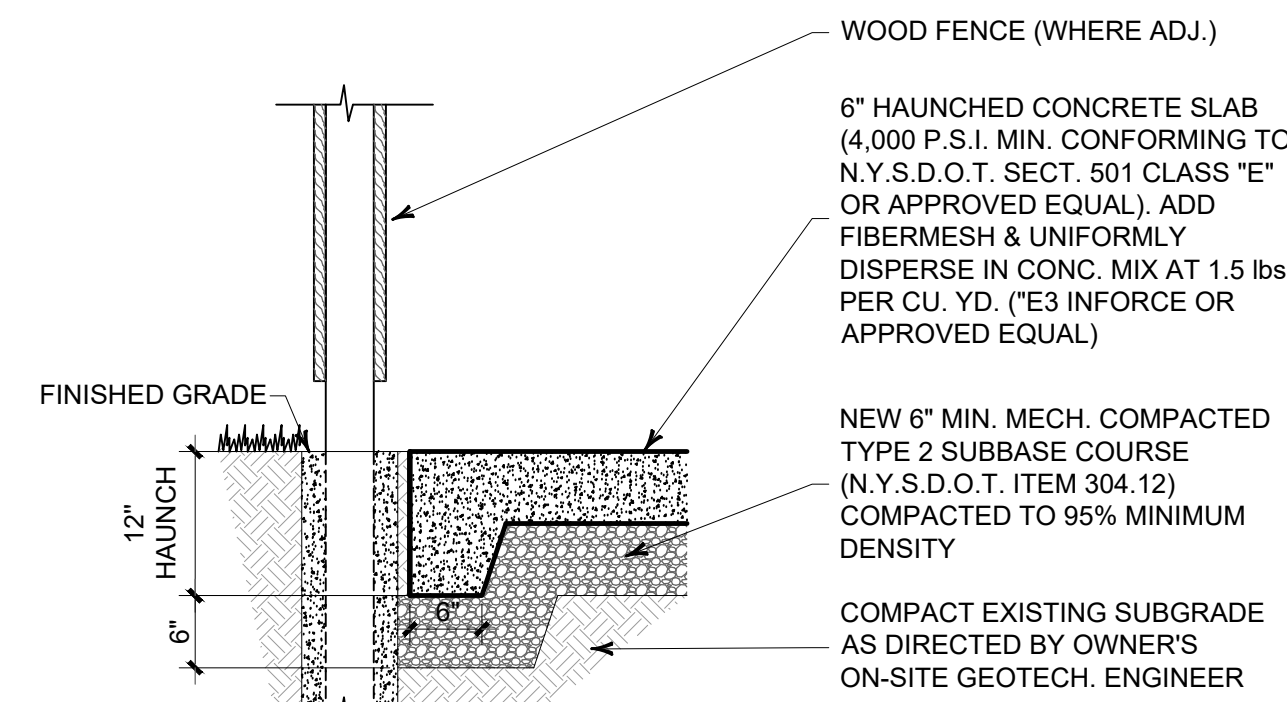
PEDESTRIAN CROSSING SIGN DETAIL

SCALE: 1/2" = 1'-0"



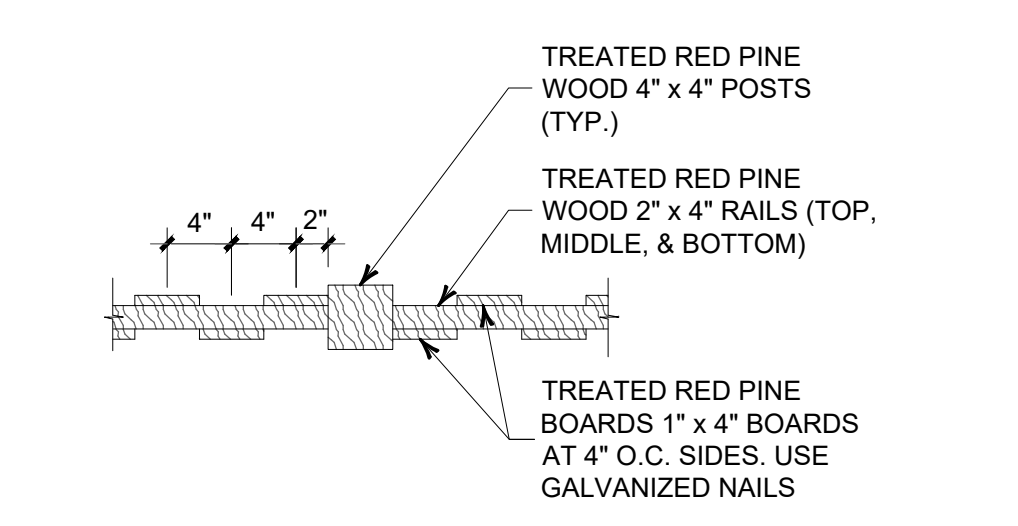
LIGHT FIXTURE DETAIL

SCALE: 3/8" = 1'-0"



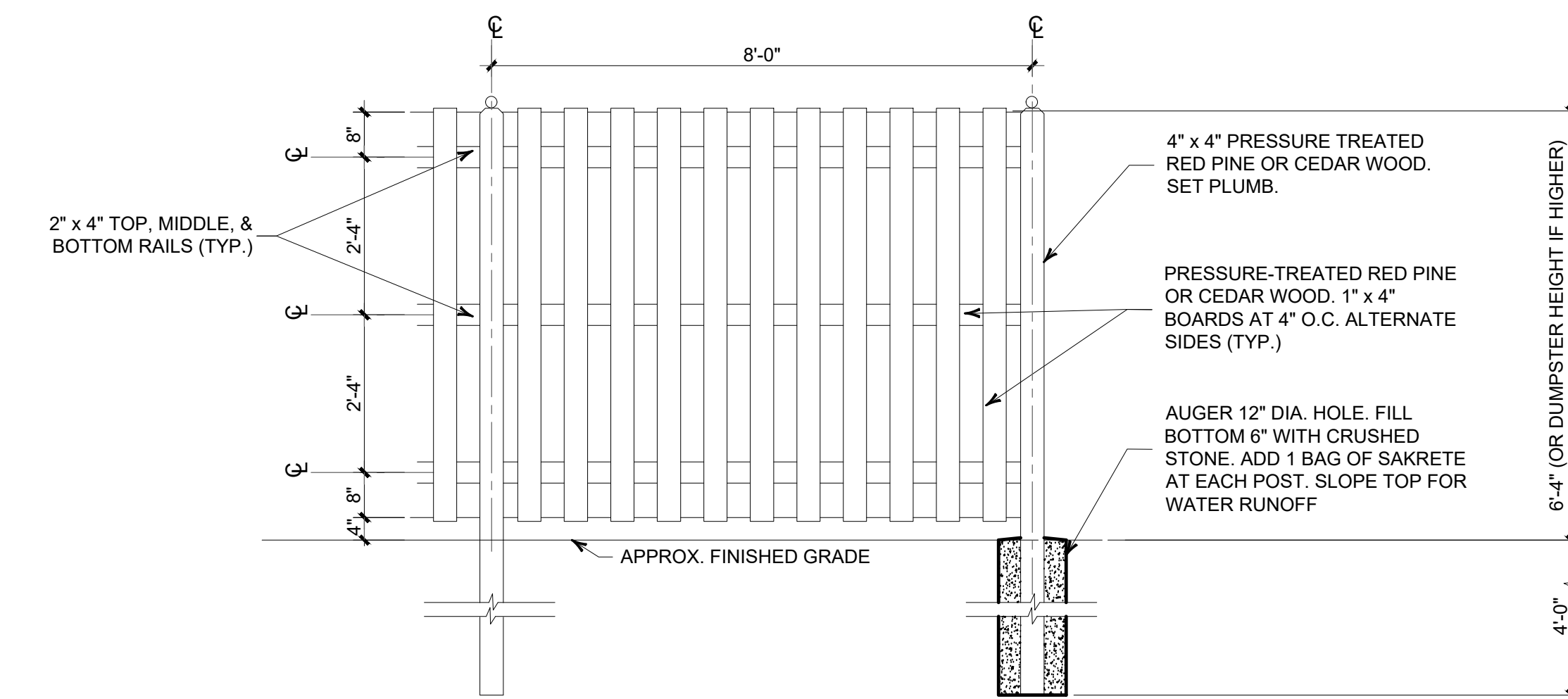
DUMPSTER PAD SECTION

SCALE: 3/4" = 1'-0"



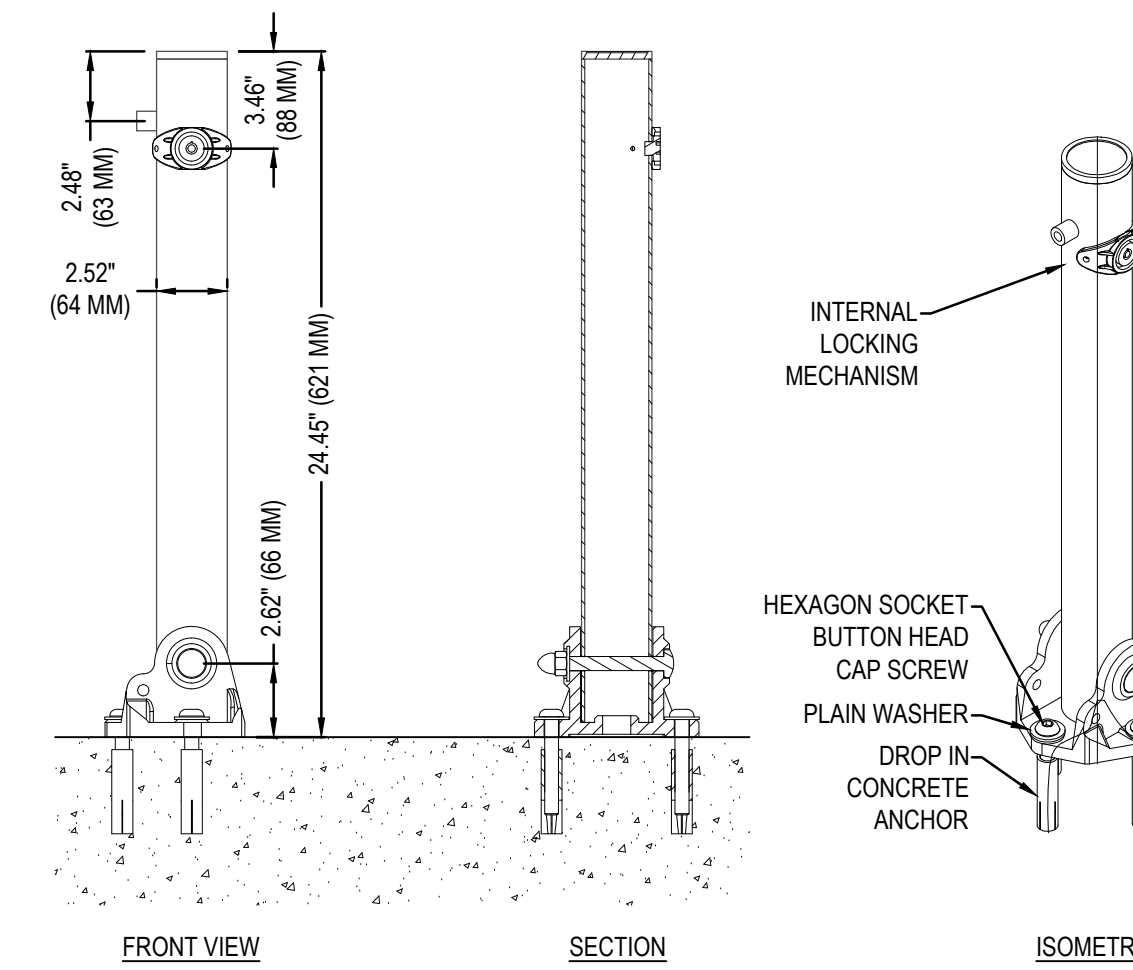
TRASH ENCLOSURE SECTION

SCALE: 1" = 1'-0"



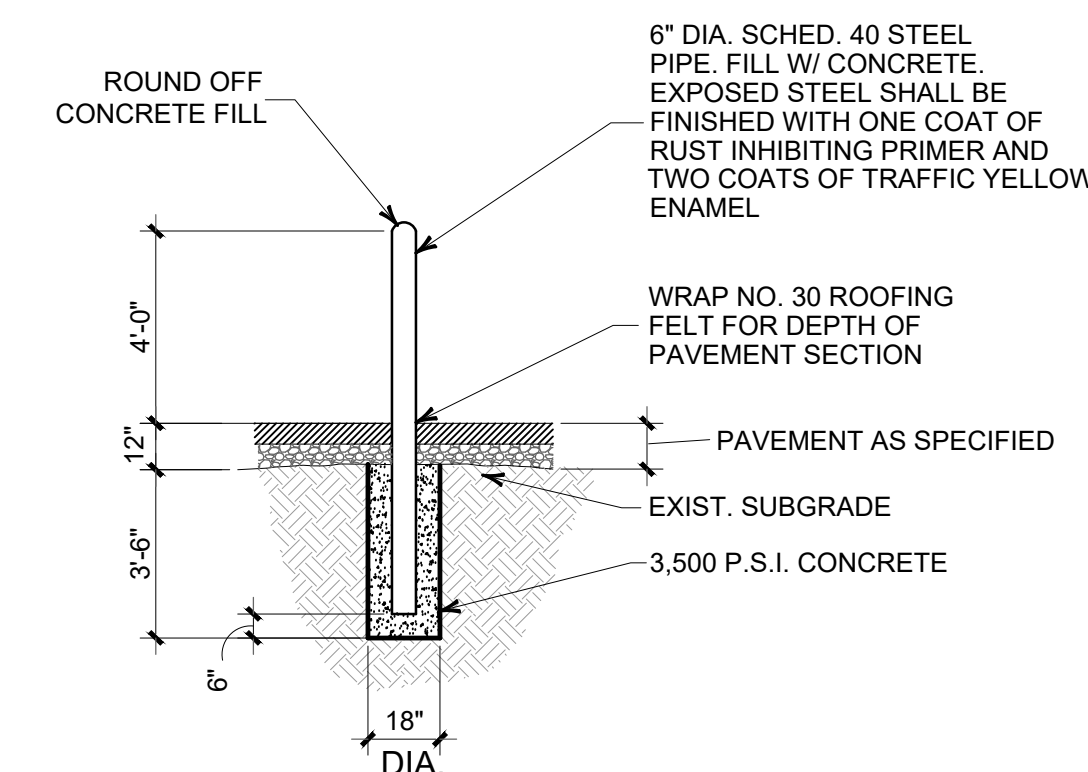
DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/2" = 1'-0"
NOTE: ALL WOOD TO BE PRESSURE TREATED AGAINST DECAY. ALL FASTENERS TO BE GALVANIZED



COLLAPSIBLE BOLLARD DETAIL

SCALE: 1/2" = 1'-0"



SECTION

BOLLARD DETAIL

SCALE: 1/4" = 1'-0"

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310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

SITE DETAILS

ISSUE
11/18/22
LAUER-MANGUSO ASSOCIATES ARCHITECTS

REGISTERED LANDSCAPE ARCHITECT
ROBERT I. BLOOD
STATE OF NEW YORK

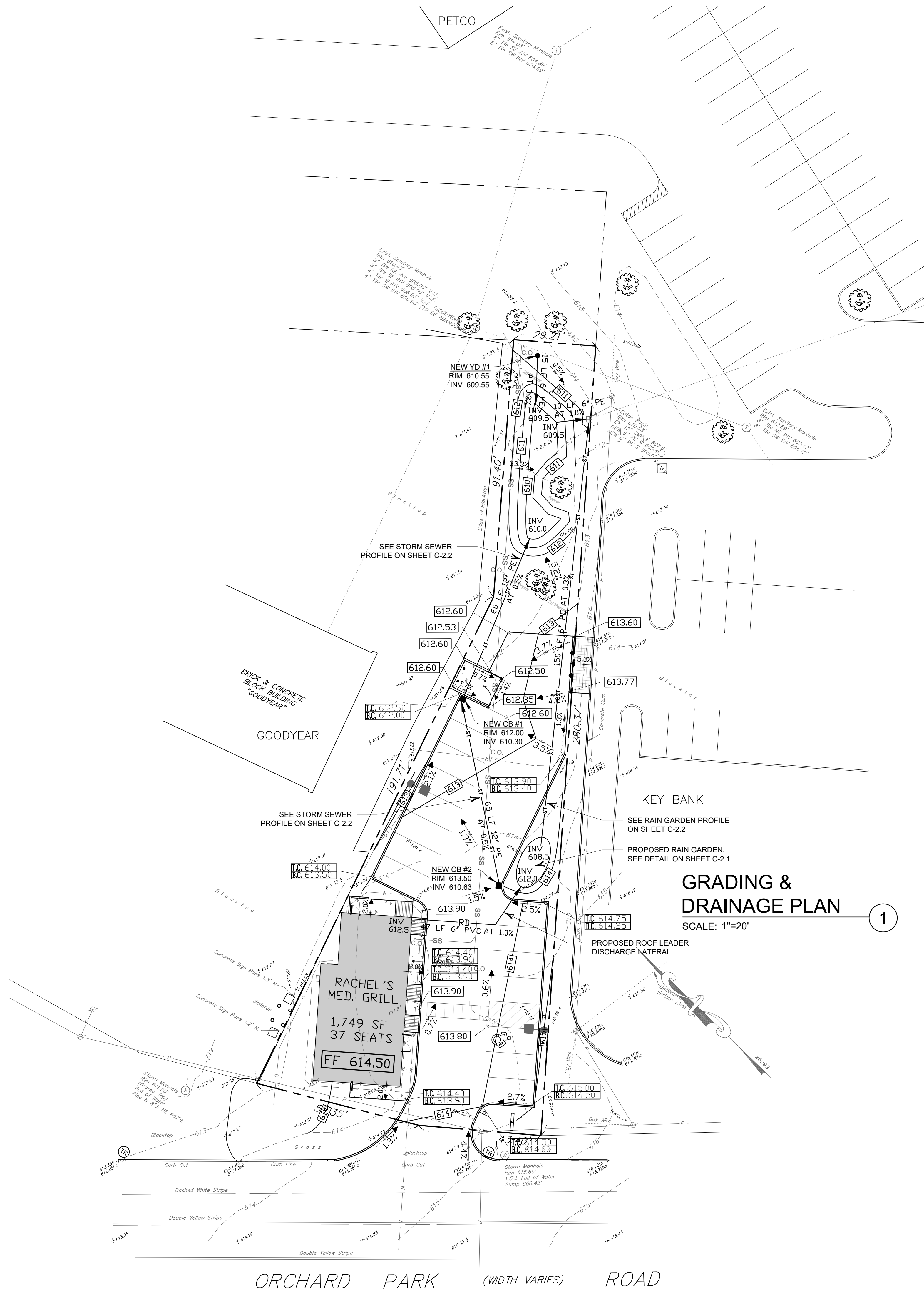
LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/2021
Drawn By: RJB
Checked By: JAM
Job Number: 21034

Drawing No.
C-1.2

GRADING & DRAINAGE NOTES:

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- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATIONS BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
- ACCEPTABLE FILL AND BACKFILL MATERIALS ARE DEFINED AS THOSE COMPLYING WITH ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, GC, SC, AND SM. FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION. FILL MATERIAL SHALL ALSO BE FREE OF ANY BRUSH, DEBRIS, LOGS, STUMPS, OR BUILDING DEBRIS. FROZEN MATERIAL, MUCK, OR HIGHLY COMPRESSIBLE, SPONGY SOILS SHALL NOT BE USED AS FILL.
- UNSATISFACTORY FILL AND BACKFILL MATERIALS ARE DEFINED AS THOSE CLASSIFIED AS ASTM D 2487 SOIL CLASSIFICATION GROUPS ML, MH, CL, CH, OL, OH, AND PT.
- ALL SOIL FILL AREAS SHALL BE PLACED IN 8" MAXIMUM LIFTS. FILL SHALL NOT BE PLACED ON FROZEN SOIL.
- ALL FILL AREAS BENEATH PAVED AREAS SHALL BE COMPACTED TO A MINIMUM 95% DENSITY IN 6" MAXIMUM LIFTS AS DETERMINED PER ASTM D 1557. LAUER-MANGUSO & ASSOC. ASSUMES NO RESPONSIBILITY FOR ANY SETTLING OF GRADES OR FOUNDATIONS THAT MAY OCCUR DUE TO UNCOMPACTED SUBGRADES.
- THE OWNERS ON-SITE REPRESENTATIVE SHALL VERIFY ALL SOIL AND FILL COMPACTION IN CONFORMANCE WITH THE LATEST ASTM D 2922 AND ASTM D 2940.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ANY UNSUITABLE SUBGRADE OR DEBRIS WHICH MAY CAUSE SETTLING UNDER FOUNDATIONS OR PAVEMENT.
- THE CONTRACTOR SHALL PREVENT SURFACE AND SUBSURFACE WATER FROM FLOWING INTO EXCAVATIONS. PUMPING SHOULD BE USED IF NECESSARY. ALL WATER PUMPED FROM EXCAVATIONS SHOULD BE DIRECTED TO A SEDIMENT TRAP, SEDIMENT BASIN, OR FILTRATION DEVICE AS SHOWN ON THE EROSION CONTROL DETAILS.
- IN CASE SEEPS OR SPRINGS ARE ENCOUNTERED BELOW GRADE, CONTACT LAUER-MANGUSO & ASSOC. IMMEDIATELY FOR SUBSURFACE DRAINAGE INSTRUCTIONS.
- WHEREVER POSSIBLE, EXCAVATED TOPSOIL SHOULD BE STOCKPILED ON SITE AND RE-USED DURING LANDSCAPING AS NECESSARY.
- FOLLOWING THE STRIPPING OF UNSUITABLE MATERIAL, PROOF-ROLLING AREAS OF PROPOSED FUTURE USE WITH A FULLY LOADED TEN-WHEEL DUMP TRUCK TO THE EXTENT PRACTICAL IS RECOMMENDED TO DETERMINE THE PRESENCE OF SOFT AND SEVERELY DISTURBED ZONES IN THE SUBGRADE.
- AFTER STRIPPING THE TOPSOIL, IF THE EXPOSED SUBGRADES ARE EXCESSIVELY WET SO AS TO PREVENT PROOF-ROLLING, THEY SHALL BE DRAINED AND DRIED TO THE POINT WHERE THEY CAN BE PROPERLY DENSIFIED. ALTERNATIVELY, OVERLY WET SUBGRADE MAY BE REMOVED AND REPLACED WITH SELECT MATERIALS.
- ALL SOFT OR DISTURBED ZONES DISCOVERED IN THE SUBGRADE SHALL BE UNDERCUT AND STABILIZED WITH SELECT BACKFILL (NYS DOT ITEM 304.12) IN 6" MAXIMUM LIFTS.
- BEFORE CONSTRUCTION BEGINS, A CERTIFIED LICENSED GEOTECHNICAL ENGINEER SHOULD CONDUCT A FOUNDATION AND SOIL INVESTIGATION IN CONFORMANCE WITH SECTIONS 1902.2 THROUGH 1902.6 OF THE NYS BUILDING CODES. THE OWNER'S ON-SITE REPRESENTATIVE SHALL PERFORM ON-SITE OBSERVATIONS AND TESTING DURING CONSTRUCTION OPERATIONS. OBSERVE EXCAVATION AND DEWATERING OF BUILDING AND CONTROLLED FILL AREAS, OBSERVE BACKFILL AND COMPACTION WITHIN BUILDING AND CONTROLLED FILL AREAS, LABORATORY TEST AND ANALYZE FILL MATERIAL, AND PERFORM WATER CONTENT, GRADATION, AND COMPACTION TESTS.
- THE CONTRACTOR SHALL PERFORM ALL EXCAVATION WORK IN THE PRESENCE OF THE OWNER'S ON-SITE REPRESENTATIVE, AND IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS OF AUTHORITIES AND AGENCIES HAVING JURISDICTION OVER SUCH ACTIVITIES. ALL CONSTRUCTION, FILL, AND SITE PREPARATION SHALL MEET OR EXCEED ALL SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.
- FUTURE LAWN AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- SEE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATIONS AND DEPTHS OF ROOF DRAIN LEADER CONNECTIONS AT BUILDING WALLS.
- THE OUTLETS OF ALL STORM SEWERS AND CATCH BASINS SHALL BE INSPECTED AND CLEANED AS NECESSARY BY THE CONTRACTOR (DURING CONSTRUCTION) AND BY THE OWNER (AFTER CONSTRUCTION). LAUER-MANGUSO & ASSOC. IS NOT RESPONSIBLE FOR STORM SEWER SYSTEM FAILURE DUE TO LACK OF INSPECTION OR MAINTENANCE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITY DEPTHS AND LOCATIONS PRIOR TO EXCAVATION AND CONSTRUCTION TO ENSURE ALL INSTALLATIONS ARE POSSIBLE AS SHOWN ON THIS PLAN. NOTIFY LAUER-MANGUSO & ASSOC. OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATION SERVICE: 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO EXCAVATION OR CONSTRUCTION.
- ALL NEW ROOF DRAIN LATERALS SHALL BE 6" DIAMETER PVC SDR-35 CONFORMING TO ASTM D 2665, ASTM D 3034, ASTM F 891, CSA-B182.2, OR CAN/CSA-B182.4.
- ROOF DRAINS SHALL BE INSTALLED IN CONFORMANCE WITH ASTM D 2321 AND ASTM F 477.
- ALL PIPE FITTINGS SHALL CONFORM TO ASTM D 2609, ASTM D 2464, ASTM D 2466, ASTM D 2467, CAN/CSA-B137.2, OR ASTM D 2665.
- ALL STORM SEWER TRENCHES SHALL BE SHORED AND BRACED IN CONFORMANCE WITH ALL LATEST O.S.H.A. CODES, AND SHALL BE MAINTAINED STRUCTURALLY IN THE TRENCH IN GOOD CONDITION FOR THE ENTIRE TIME THE EXCAVATIONS SHALL REMAIN OPEN. ALL SHORING AND BRACING WORK SHALL BE SUPERVISED BY THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL APPLICABLE TESTS AS REQUIRED IN THE NYS CODE. THE GENERAL CONTRACTOR SHALL GIVE REASONABLE ADVANCED NOTICE TO THE CODE OFFICIAL OR INSPECTOR BEFORE THE PLUMBING WORK IS READY FOR TESTING. THE EQUIPMENT, MATERIAL, POWER, AND LABOR NECESSARY FOR THE INSPECTIONS AND TESTS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR. UNDERGROUND INSPECTIONS SHALL BE MADE AFTER TRENCHES ARE EXCAVATED AND BEDDED, PIPING INSTALLED, AND BEFORE ANY BACKFILL IS PUT IN PLACE.



CODE & SITE DATA

PROJECT PARCEL AREA = 0.35 ACRES +/-
 ZONING DISTRICT: C-2 (S) COMMERCIAL DISTRICT
 DISTURBANCE AREA = 0.47 AC. +/- (20,370 SF)

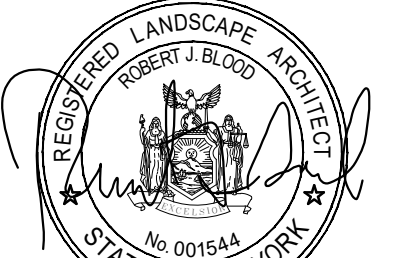
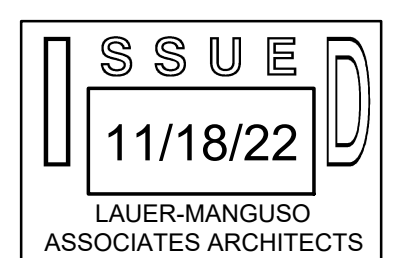
No.	Description	Date
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1	ISSUED: PLANNING BD. REVIEW	3-29-22
-	ISSUED: SEQR REVIEW	3-4-22
-	ISSUED: ECWA REVIEW	2-28-22
-	ISSUED: WEGMANS REVIEW	2-17-22
-	ISSUED: PH. 1 DEMO PERMIT	2-11-22
-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

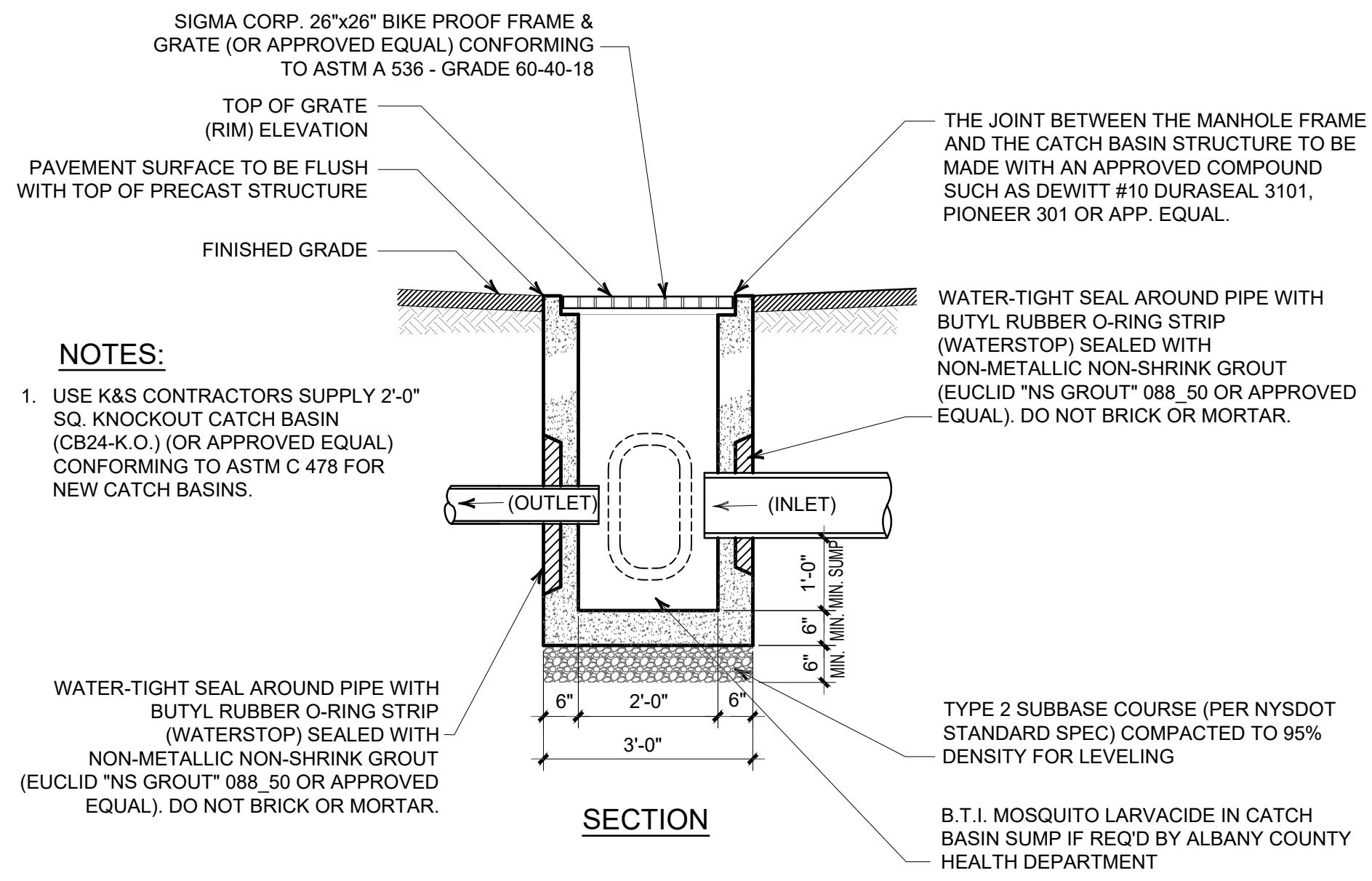
RACHEL'S GRILL
 310 ORCHARD PARK ROAD
 WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
 285 DELAWARE AVE., BUFFALO, NY

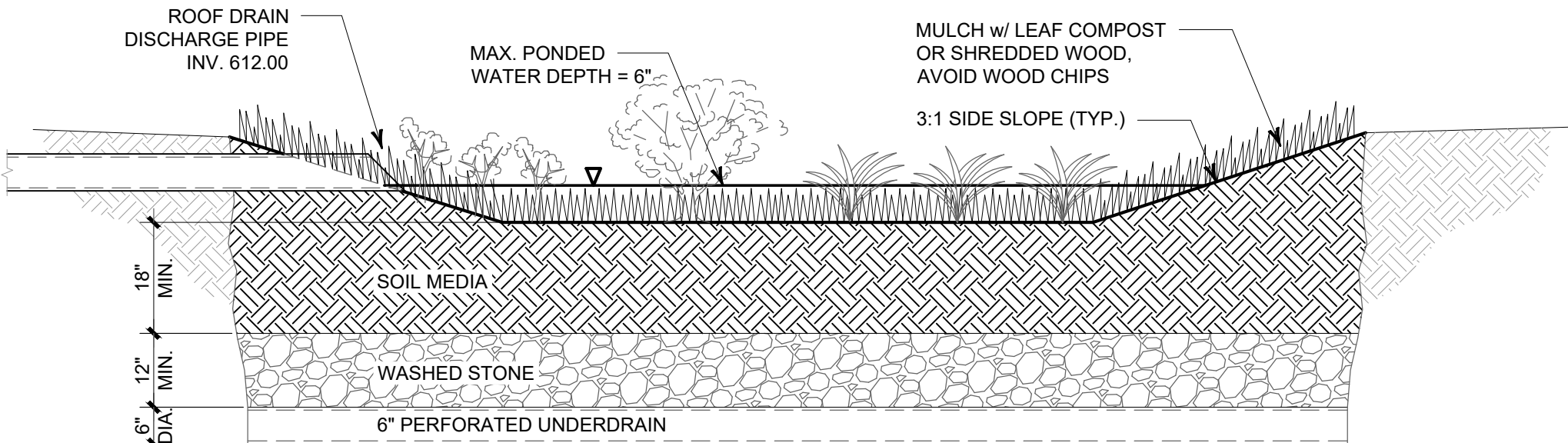
GRADING & DRAINAGE PLAN



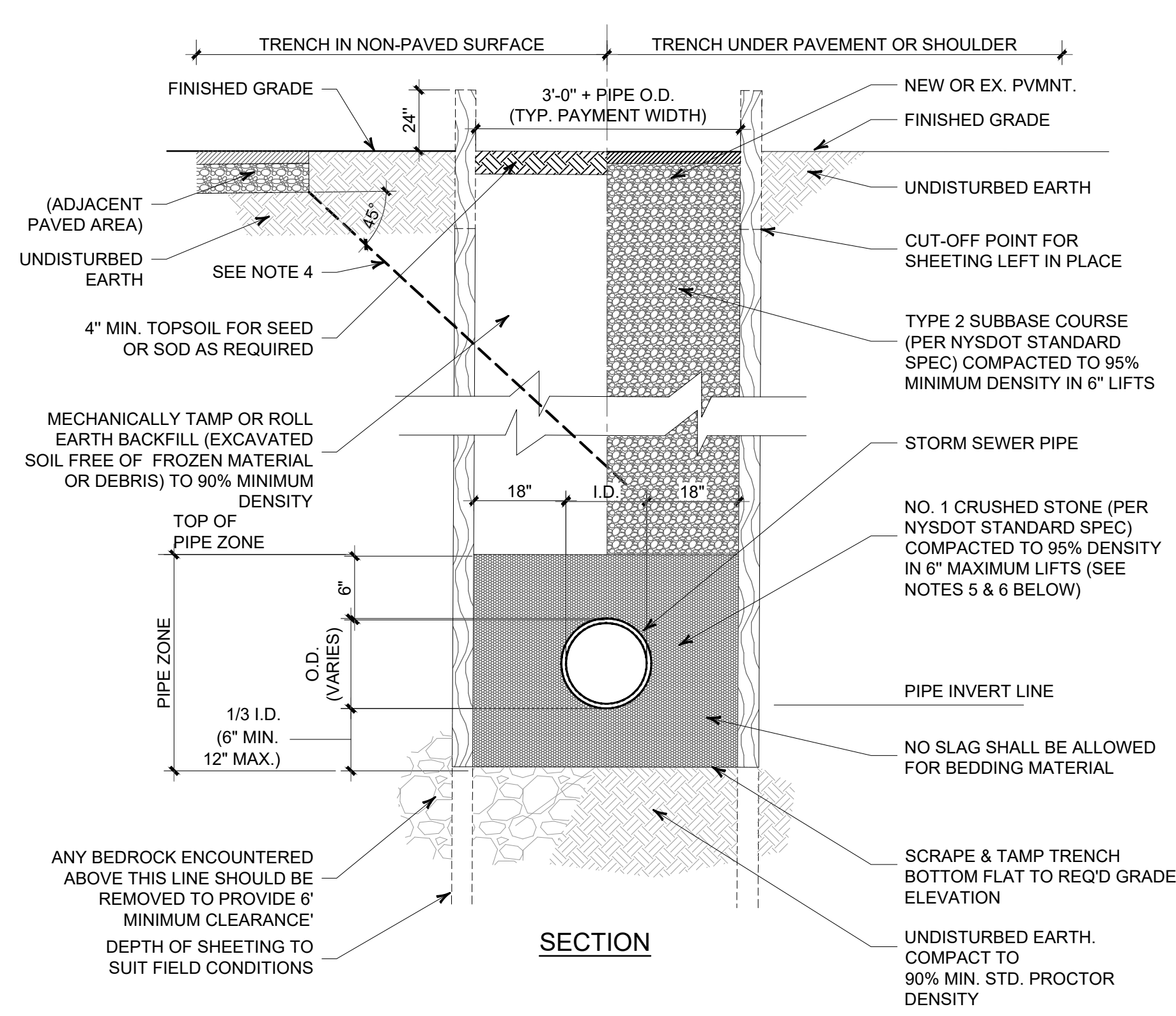
Date: 5/3/2021 Drawing No. C-2.0
 Drawn By: RJB
 Checked By: JAM
 Job Number: 21034



CATCH BASIN DETAIL
SCALE: 1/2" = 1'-0"



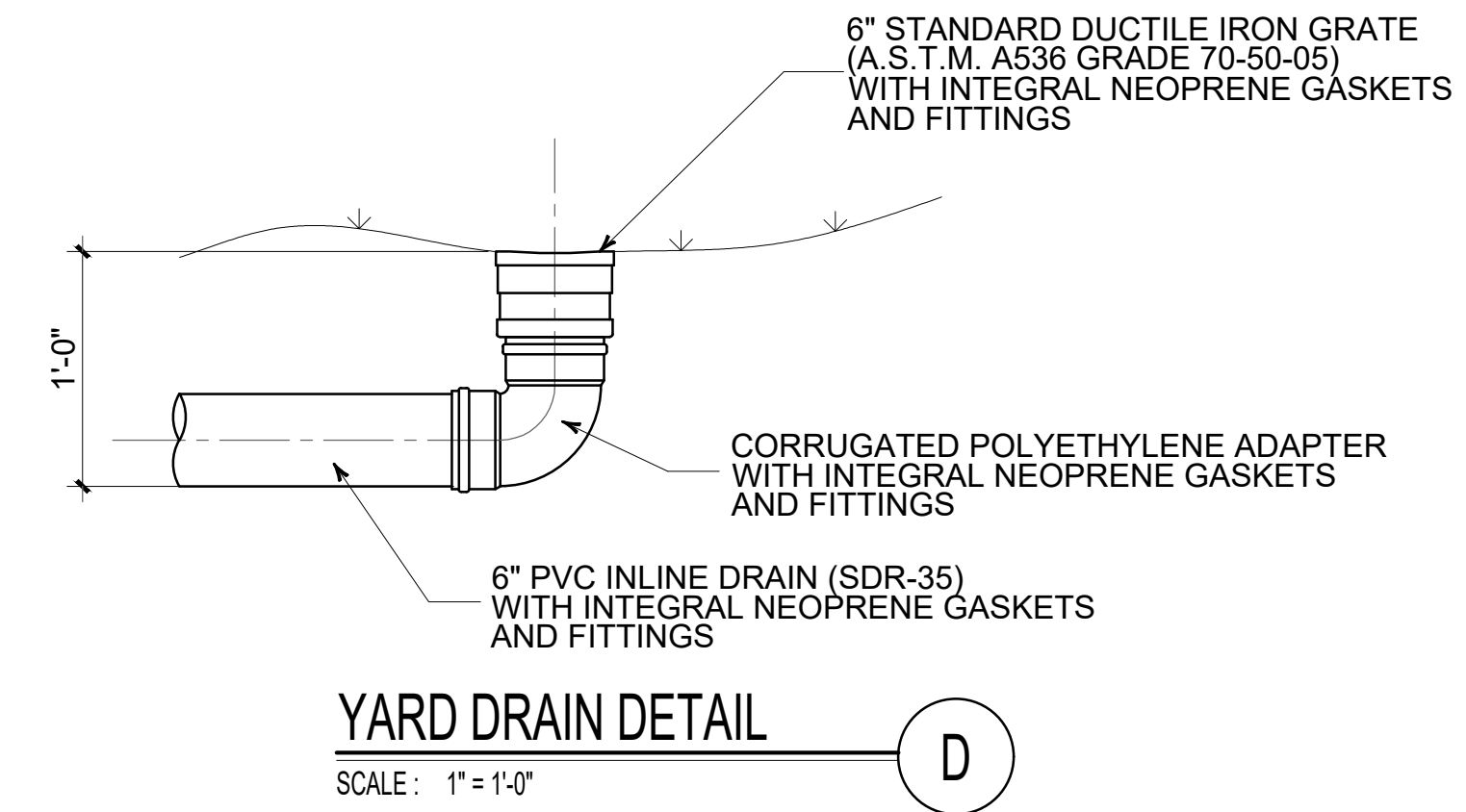
RAIN GARDEN PROFILE
SCALE: N.T.S.



STORM SEWER TRENCH
SCALE: 1/2" = 1'-0"

NOTES:

1. MAINTAIN 18" BETWEEN PIPE AND INSIDE FACE OF TEMPORARY SHEETING. IF SHEETING EXTENDS BELOW PIPE INVERT AS SHOWN, COMPACT MATERIAL BEFORE PULLING THE SHEETING WHEN PVC PIPE IS USED.
2. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
3. SHEETING OR SHORING SHALL BE REQUIRED PER O.S.H.A. STANDARDS FOR WORKER SAFETY AND PROTECTION OF TRENCH AREA. ALL SHORING AND TRENCHING SHALL BE DONE AS DIRECTED BY THE OWNER'S ON-SITE GEOTECHNICAL ENGINEER AND SHALL REMAIN IN PLACE UNTIL ALL TRENCHING OPERATIONS ARE COMPLETED.
4. SELECT FILL (N.Y.S.D.O.T. ITEM 304.12) IS REQUIRED BENEATH NON-PAVED AREAS ADJACENT TO PAVED AREAS IF THE 45° LINE SHOWN ABOVE INTERCEPTS THE TRENCH ABOVE THE PIPE ZONE.
5. PIPE BEDDING AND MATERIAL AROUND THE PIPE ("NO. 1 CRUSHED STONE") SHALL CONFORM TO N.Y.S.D.O.T. TABLE 703-4, SIZE DESIGNATION 1, MATERIAL DESIGNATION 703-0201. OPTIONAL: PIPE BEDDING MATERIAL SHALL CONFORM TO CLASS I, II, OR III AS PER ASTM D 2321.
6. COMPACTED CLAY OR CLASS B CONCRETE ANTI-SEEPAGE COLLARS SHALL BE USED IN GRASS AREAS TO ELIMINATE THE POSSIBILITY OF PIPE UNDERMINING DUE TO SEEPAGE THROUGH THE PIPE ZONE. (SEE DETAIL RIGHT).
7. IF SOFT MATERIALS OF POOR LOAD-BEARING QUALITY ARE FOUND AT THE BOTTOM OF THE TRENCH, STABILIZATION SHALL BE ACHIEVING BY EXCAVATING A MINIMUM OF TWO PIPE DIAMETERS AND BACKFILLING TO THE PIPE INVERT WITH PIPE BEDDING AND COMPACTING TO 95% DENSITY AS IN NOTE 5 ABOVE.



YARD DRAIN DETAIL
SCALE: 1" = 1'-0"

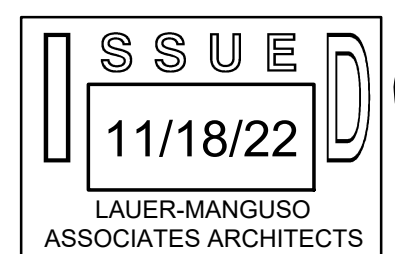
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-	ISSUED: PH. 1 DEMO PERMIT	2-11-22
-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
4/1	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

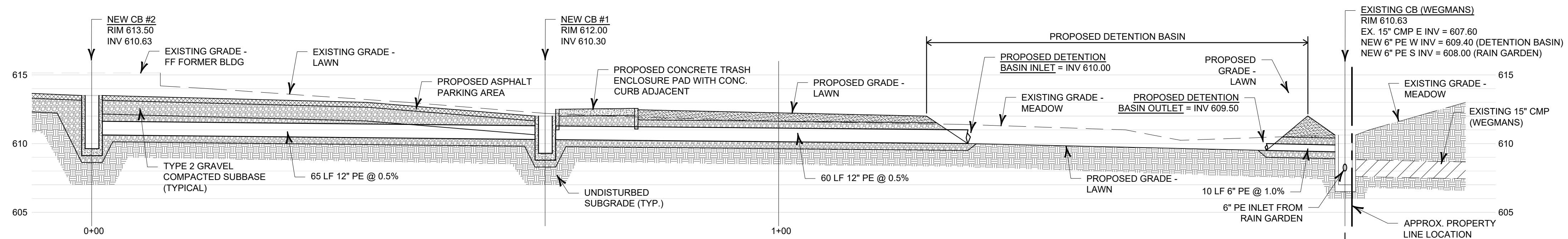
**DRAINAGE
DETAILS**



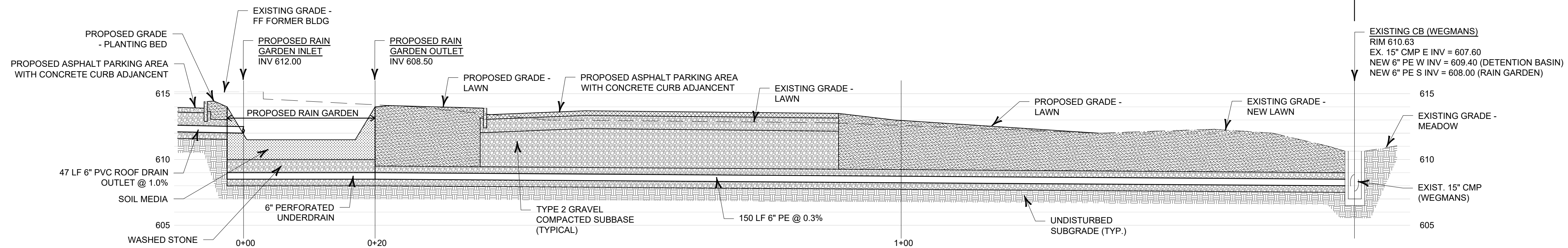
LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/21
Drawn By: RJB
Checked By: JAM
Job Number: 21034

Drawing No.
C-2.1



PROPOSED STORM SEWER PROFILE (A)
 SCALE: VERT: 1"=5'
 HORIZ: 1"=10'



RAIN GARDEN OUTFALL PROFILE (B)
 SCALE: VERT: 1"=5'
 HORIZ: 1"=10'

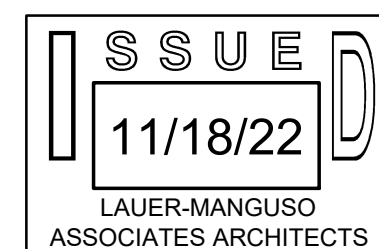
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-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

REVISIONS

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 310 ORCHARD PARK ROAD
 WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
 285 DELAWARE AVE., BUFFALO, NY

STORM SEWER PROFILES



LAUER-MANGUSO & ASSOCIATES ARCHITECTS
 4080 Ridge Lea Road
 Buffalo, N.Y. 14228
 (716) 837-0833

Date: 11/19/20
 Drawn By: KJP, RJB
 Checked By: PJM
 Job Number: 20104

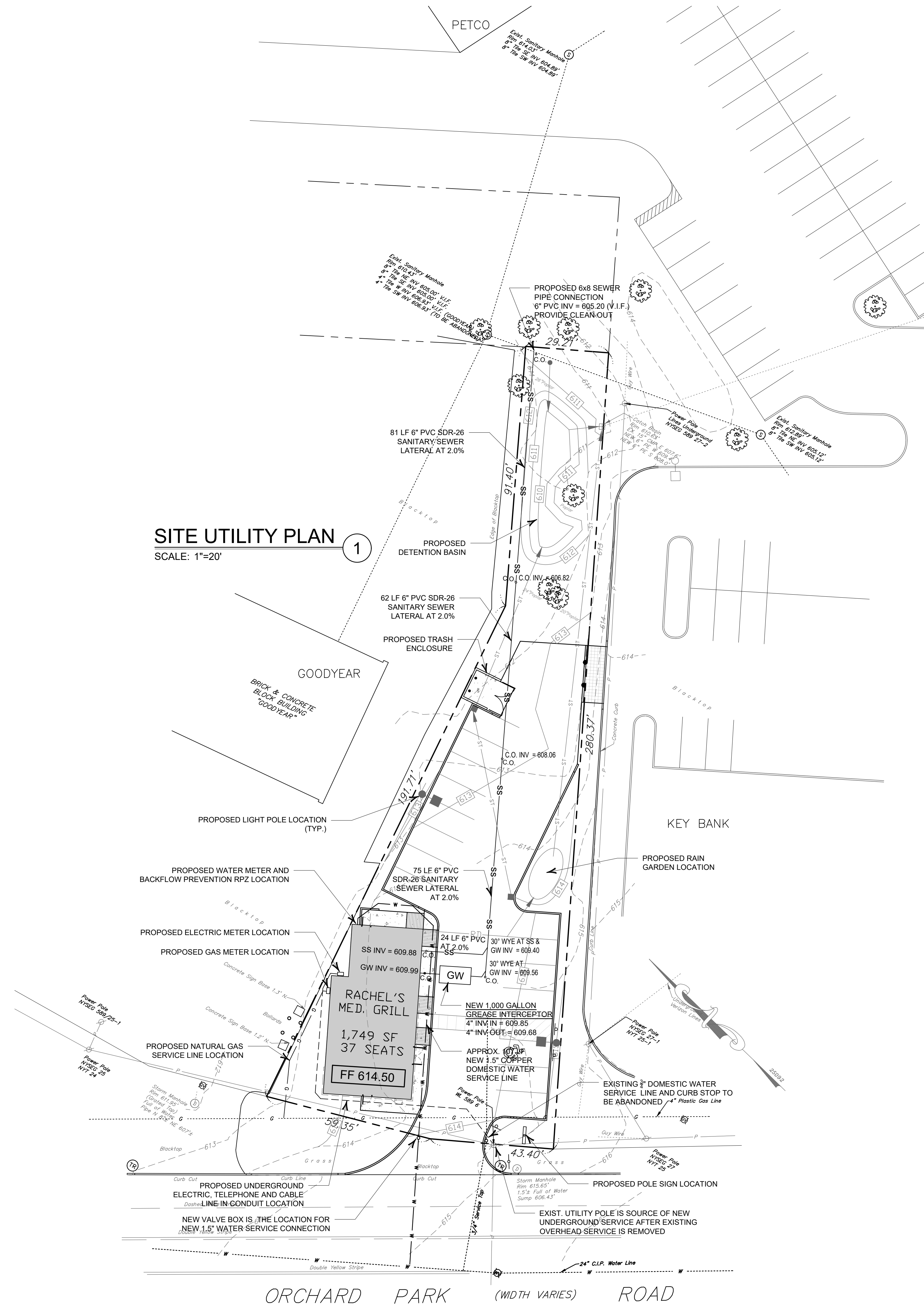
Drawing No. **C-2.2**

UTILITY NOTES:

- FOR REFERENCE INFORMATION SEE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY MILLARD, MACKAY & DELLES LAND SURVEYORS, LLP, DATED OCTOBER 8, 2021, INCLUDED WITH THIS SET OF PLANS.
- UNDERGROUND INSPECTIONS SHALL BE MADE AFTER TRENCHES ARE EXCAVATED AND BEDDED, PIPING INSTALLED, AND BEFORE ANY BACKFILL IS PUT IN PLACE.
- THE CONTRACTORS SHALL COORDINATE EXACT UTILITY CONNECTION LOCATIONS AND DEPTHS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, H.V.A.C., AND PLUMBING PLANS.
- EXISTING SERVICE UTILITY CONNECTIONS TO BE ABANDONED OR DISCONTINUED SHALL BE SHUT OFF BY THE RESPECTIVE UTILITY AGENCY PRIOR TO THE START OF WORK.
- THE COST OF ALL TEMPORARY UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, NATURAL GAS, POTABLE WATER, AND TELECOMMUNICATION LINES) AND THEIR INSTALLATION AND REMOVAL COSTS, SHALL BE BORNE BY THE GENERAL CONTRACTOR. ALL TEMPORARY UTILITIES SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED FOR TEMPORARY LIGHTING, HEAT, OR POWER IN CHAPTER 27 OF THE NEW YORK STATE BUILDING CODE.
- EXISTING UNDERGROUND UTILITY LINES TO REMAIN WHICH ARE UNCOVERED BY EXCAVATION SHALL BE ADEQUATELY SUPPORTED AND PROTECTED DURING EARTHWORK ACTIVITIES.
- ANY SHORING AND BRACING FOR TRENCHES SHALL COMPLY WITH LATEST O.S.H.A. CODES AND SHALL REMAIN MAINTAINED AND IN PLACE UNTIL EXCAVATION IS COMPLETED. ALL SHORING AND BRACING WORK SHOULD BE SUPERVISED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE SLEEVES THROUGH NEW FOUNDATION WALLS AS NECESSARY FOR PROTECTING EXISTING AND PROPOSED UTILITY LINES.
- MAINTAIN A MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN THE OUTSIDE DIAMETER OF NEW WATERLINES AND THE OUTSIDE DIAMETER OF SANITARY OR STORM SEWER PIPING.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST 10', MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SANITARY SEWER MAINS, LATERALS OR SEPTIC SYSTEMS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITY DEPTHS AND LOCATIONS PRIOR TO EXCAVATION AND CONSTRUCTION TO ENSURE ALL INSTALLATIONS ARE POSSIBLE AS SHOWN ON THIS PLAN. NOTIFY LAUER-MANGUSO & ASSOC. OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATION SERVICE: 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO EXCAVATION OR CONSTRUCTION.
- IF EXCAVATION REVEALS A CONFLICTING UTILITY LINE THAT IS NOT SHOWN ON THIS PLAN, WORK SHALL BE SUSPENDED UNTIL THE LINE IS IDENTIFIED, THE UTILITY COMPANY OR AGENCY CONTACTED, AND LAUER-MANGUSO & ASSOC. IS NOTIFIED.
- AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE PROPER RESPECTIVE UTILITY COMPANIES OR AGENCIES SHALL BE NOTIFIED. ALL AFFECTED CUSTOMERS SHOULD ALSO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION.
- ALL NEW WATER LINE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ECWA AND THE TOWN OF WEST SENECA.
- WATER SERVICE LINES SHALL HAVE A MIN. 5'-0" DEPTH OF COVER FROM FINISHED GRADE IN LAWN AREAS AND 6'-0" OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- THE NEW RPZ BACKFLOW PREVENTION DEVICE SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL NEW WATER SERVICE LINES SHALL BE DISINFECTED BY USING THE CONTINUOUS FEED METHOD IN CONFORMANCE WITH A.W.W.A. STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE ERIE COUNTY HEALTH DEPARTMENT. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE ACTIVATED BY THE WATER AUTHORITY.
- PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE ECWA AND THE TOWN OF WEST SENECA. A WATER DEPARTMENT REPRESENTATIVE MUST WITNESS THIS TEST.
- LAUER-MANGUSO & ASSOC. IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL USE ALL MEANS POSSIBLE INCLUDING METAL DETECTORS, ELECTRONIC SENSORS, PRODDING, AND HAND EXCAVATION TO AVOID DISTURBING EXISTING BURIED UTILITIES ON SITE.
- ALL PLUMBING WORK SHALL BE INSPECTED BY A ECWA PLUMBING INSPECTOR. ALL PLUMBERS SHALL BE CERTIFIED, INSURED, AND LICENSED BY THE TOWN OF WEST SENECA.
- RIGID PIPE BEDDING HAUNCHING & INITIAL BACKFLOW SHALL CONFORM TO CLASS A, B, C OR CRUSHED STONE AS PER ASTM C 12. FLEXIBLE PIPE BEDDING HAUNCHING & INITIAL BACKFLOW SHALL CONFORM TO CLASS I, II, OR III AS PER ASTM D 2321.
- ALL DUCTILE IRON WATERLINES SHALL BE CLASS 52, AND SHALL MEET OR EXCEED THE LATEST ANSI / AWWA C151 / A21.51 OR C115 SPECIFICATIONS, AS WELL AS NSF 61. ALL DUCTILE IRON WATERLINES SHALL ALSO BE CEMENT-MORTAR LINED IN CONFORMANCE WITH AWWA C104.
- ALL NEW WATERLINES, VALVES, AND APPURTENANCES THAT ARE IN CONTACT WITH POTABLE WATER SHALL BE TYPE K COPPER NSF/ANSI 61 CERTIFIED.
- ALL NEW ROOF DRAIN LATERALS SHALL BE PVC (SDR-35) CONFORMING TO ASTM D 2729, ASTM D 3034, ASTM F 891, CSA-B182.2, OR CAN/CSA-B182.4. ROOF DRAINS SHALL BE INSTALLED IN CONFORMANCE WITH ASTM D 2321.
- A CERTIFIED BACKFLOW PREVENTION DEVICE TESTER RETAINED BY THE OWNER SHALL APPROVE AND CERTIFY SATISFACTORY INSTALLATION OF THE DEVICE WITHIN 45 DAYS OF THE INSTALLATION. THE COMPLETED DOH-1013 FORM SHALL BE SUBMITTED TO THE CITY OF BUFFALO WATER DEPARTMENT WITHIN 30 DAYS OF TESTING THE DEVICE.
- AN ANNUAL TEST TO CERTIFY THE DEVICE MEETS THE REQUIREMENTS OF AN ACCEPTABLE CONTAINMENT DEVICE SHALL BE COMPLETED BY A N.Y.S. CERTIFIED TESTER ON A YEARLY BASIS AND SUBMITTED TO THE ECWA AND TOWN OF WEST SENECA WITHIN 30 DAYS OF TESTING THE DEVICE.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL APPLICABLE TESTS AS REQUIRED IN THE N.Y.S. PLUMBING CODE SECTIONS 312.2 THRU 312.9 AND AWWA C600. THE GENERAL CONTRACTOR SHALL GIVE REASONABLE ADVANCED NOTICE TO THE CODE OFFICIAL OR INSPECTOR BEFORE THE PLUMBING WORK IS READY FOR TESTING. THE EQUIPMENT, MATERIAL, POWER, AND LABOR NECESSARY FOR THE INSPECTIONS AND TESTS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- ALL WATERLINE SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ECWA AND TOWN OF WEST SENECA REQUIREMENTS.
- ALL SANITARY LATERALS SHALL BE PVC SDR-35 AND THE PROPOSED SANITARY SEWER SYSTEM SHALL MEET THE TOWN OF WEST SENECA ENGINEERING DEPARTMENT REQUIREMENTS.
- THE ECWA IS TO BE NOTIFIED A MIN. OF 48 HOURS PRIOR TO STARTING THE CONNECTION TO THE NEW WATER SERVICE.
- SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH A PAVEMENT AREA.

SITE UTILITY PLAN

SCALE: 1"=20'



CODE & SITE DATA

PROJECT PARCEL AREA = 0.35 ACRES +/-
ZONING DISTRICT: C-2 (S) COMMERCIAL DISTRICT

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2	RE-ISSUED FOR PB REVIEW	11-18-22
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-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

REVISIONS

RACHEL'S GRILL
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RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

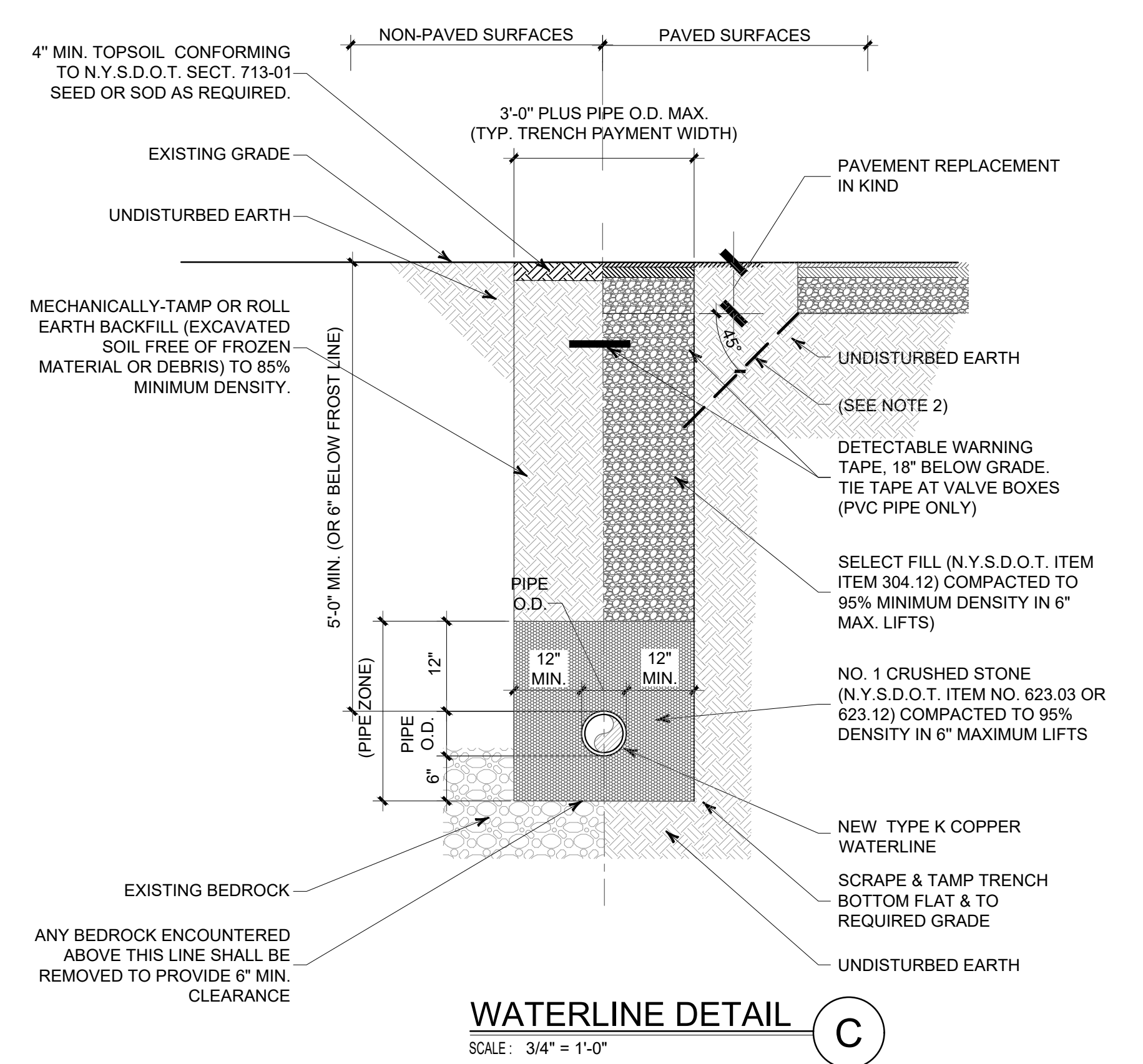
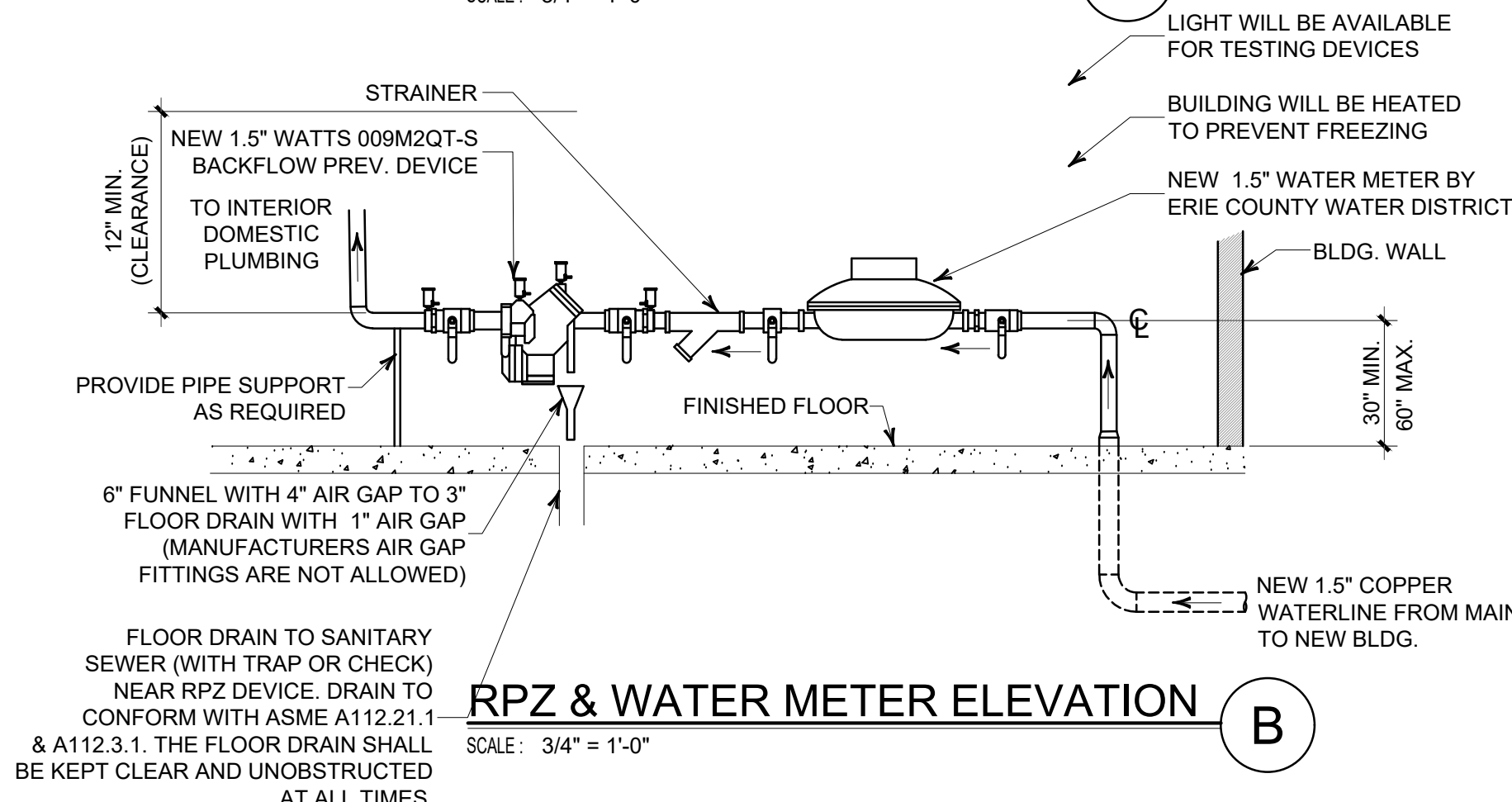
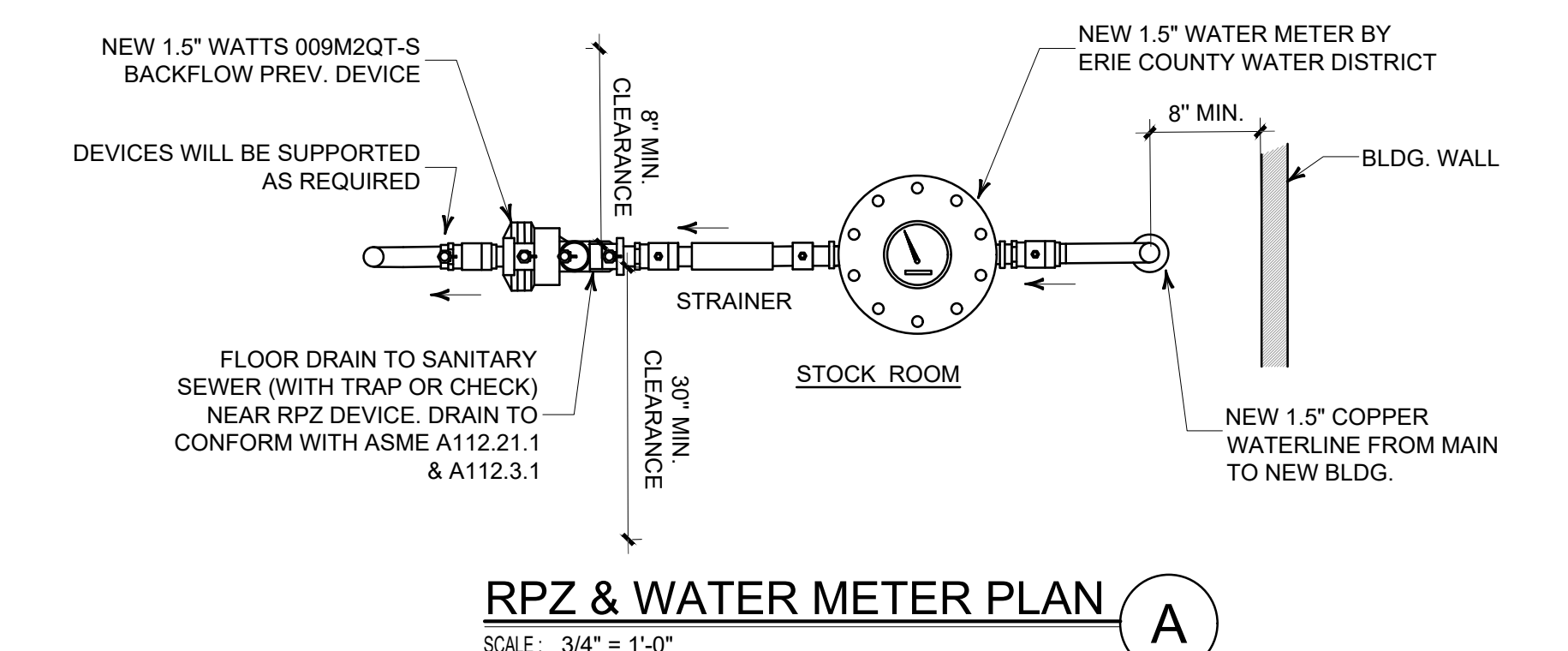
SITE UTILITY PLAN

ISSUE
11/18/22
LAUER-MANGUSO
ASSOCIATES ARCHITECTS



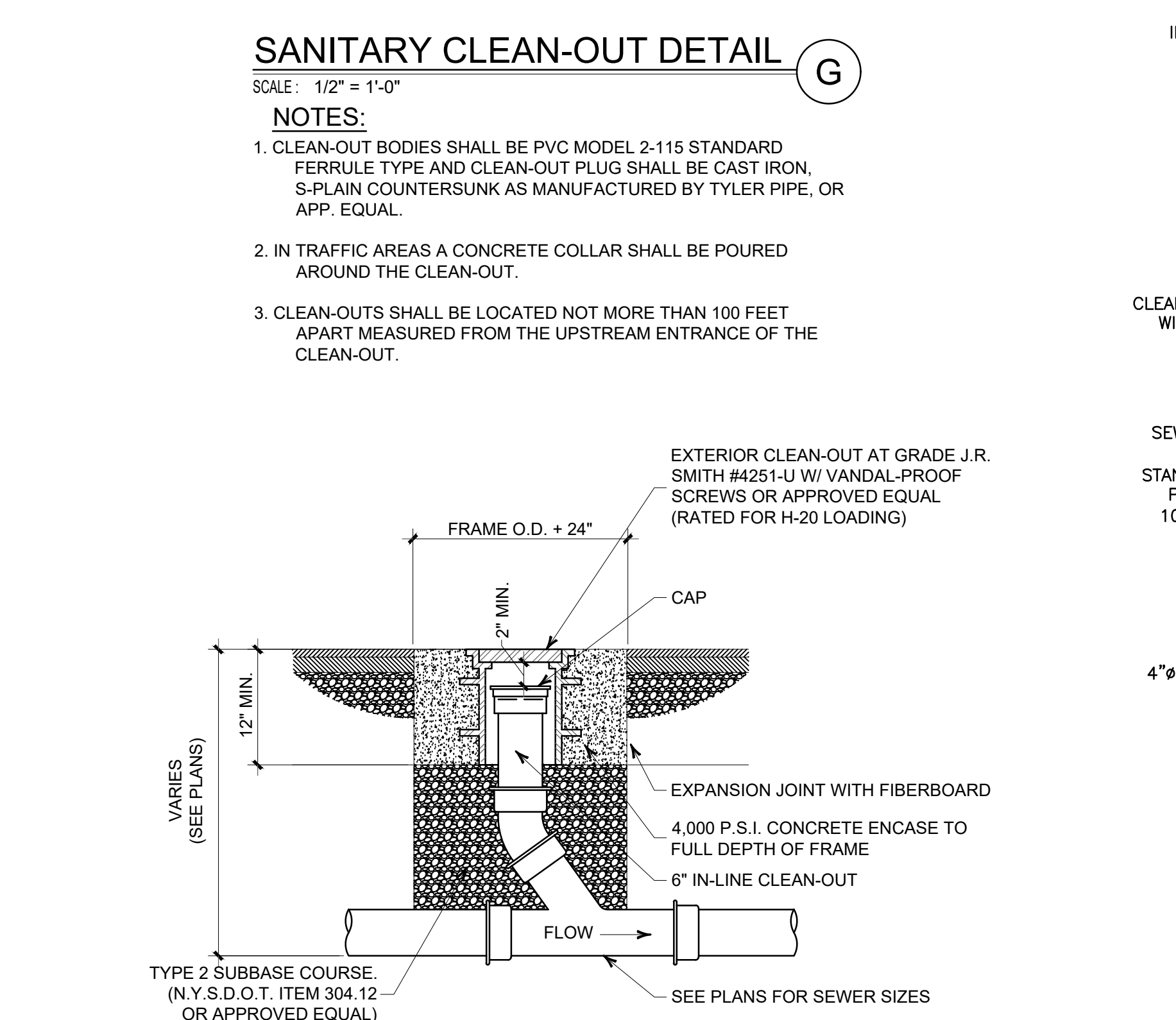
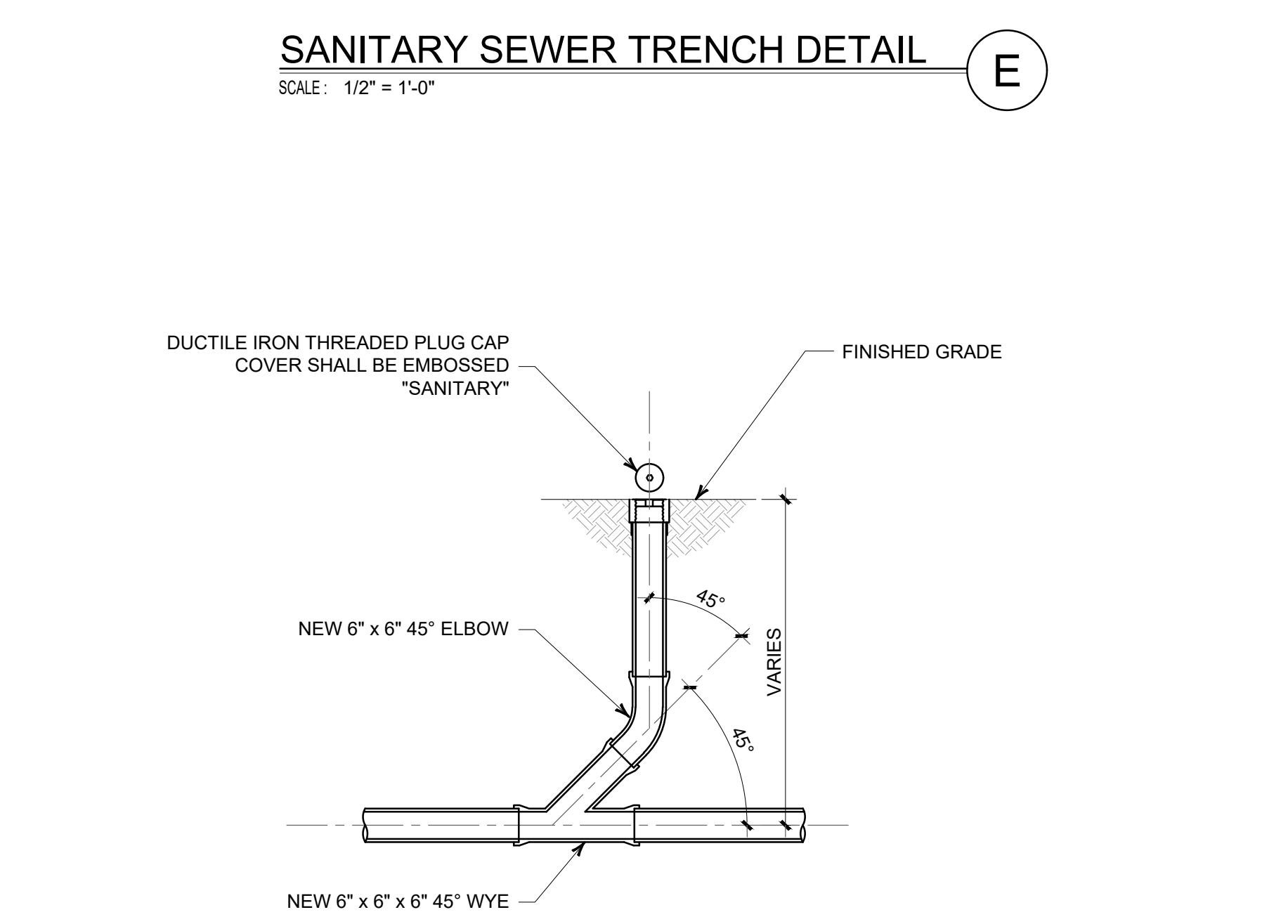
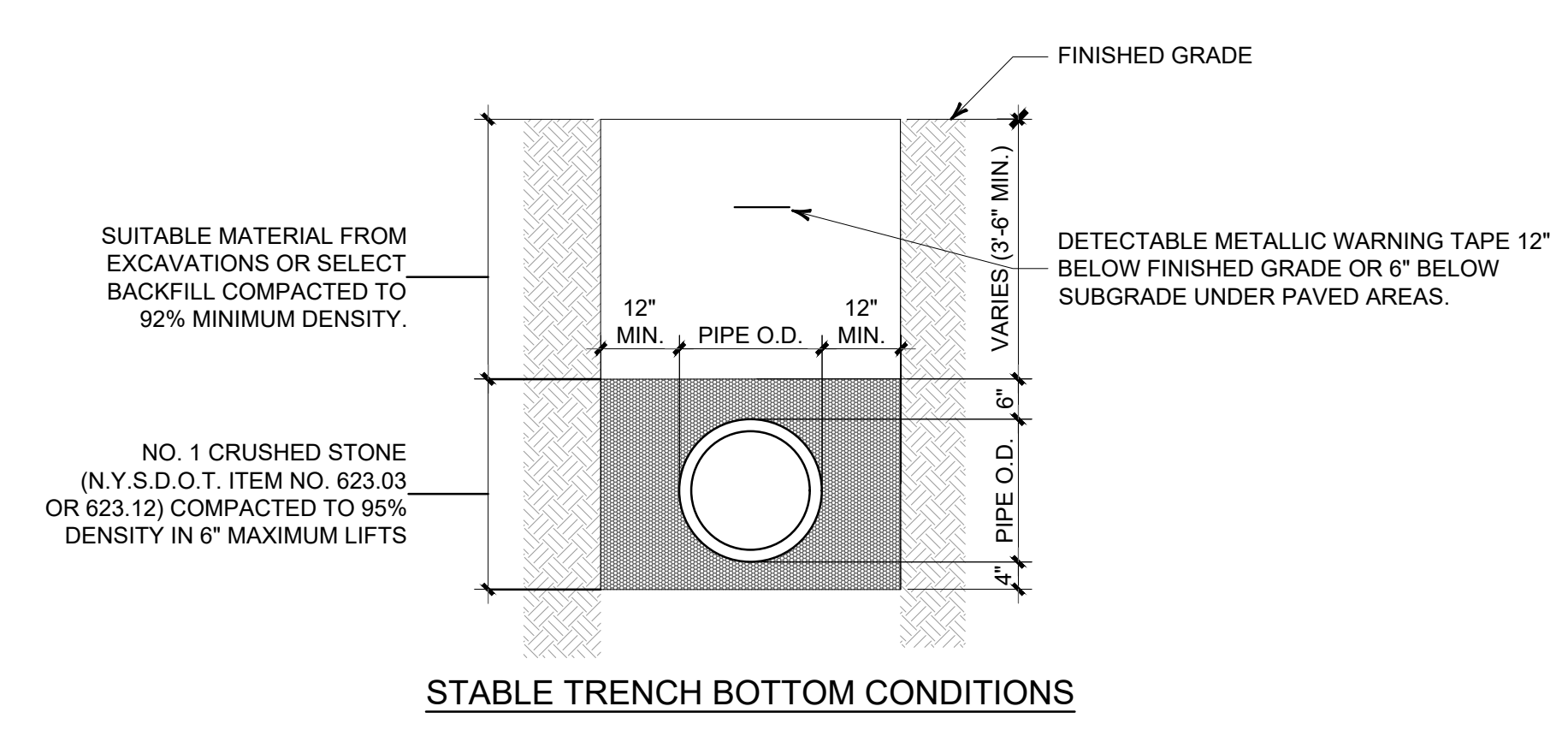
LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/2021
Drawn By: RJB
Checked By: JAM
Job Number: 21034
Drawing No. **C-3.0**



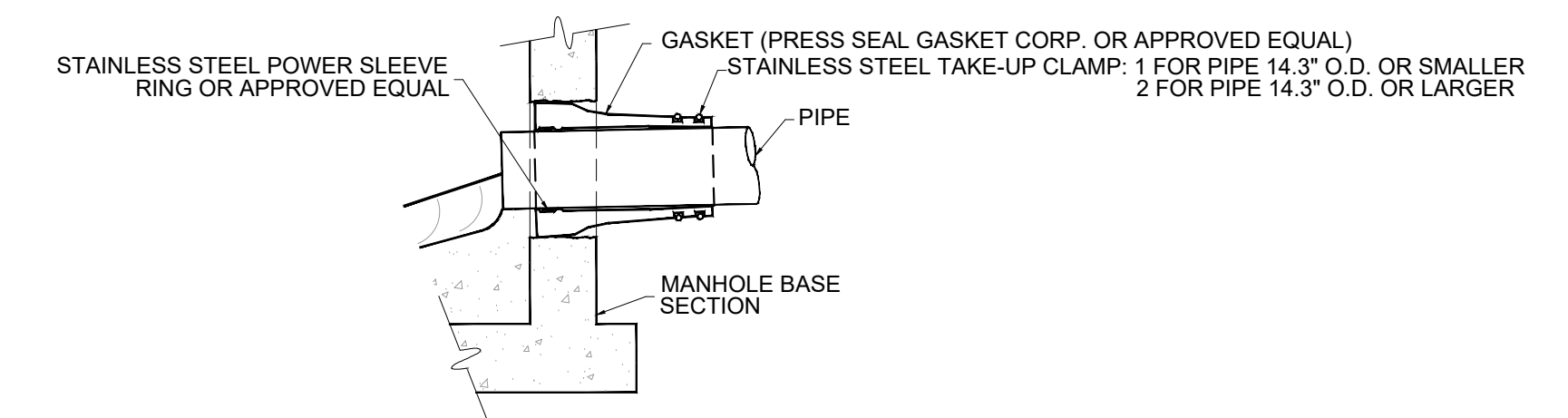
NOTE:

- SHEETING OR SHORING SHALL BE REQUIRED PER O.S.H.A. STANDARDS FOR WORKER SAFETY AND PROTECTION OF WORK AREA AS DIRECTED BY OWNER'S ON-SITE GEOTECHNICAL ENGINEER.
- SELECT FILL (N.Y.S.D.O.T. ITEM 304.12) IS REQUIRED FOR FULL DEPTH UNDER DRIVEWAYS, ROAD CROSSINGS, AND IF THE 45° LINE SHOWN ABOVE INTERCEPTS THE TRENCH ABOVE THE PIPE ZONE.
- PIPE BEDDING AND MATERIAL AROUND THE PIPE ("NO. 1 CRUSHED STONE") SHALL CONFORM TO N.Y.S.D.O.T. TABLE 703-4, SIZE DESIGNATION 1, MATERIAL DESIGNATION 702-0201. OPTIONAL: CLASS I, II, OR III MATERIALS AS PER ASTM D 2321
- IF SOFT MATERIALS OF POOR LOAD-BEARING QUALITY ARE FOUND AT THE BOTTOM OF THE TRENCH, STABILIZATION SHALL BE ACHIEVING BY EXCAVATING A MINIMUM OF TWO PIPE DIAMETERS AND BACKFILLING TO THE PIPE INVERT WITH PIPE BEDDING AND COMPACTING TO 95% DENSITY AS IN NOTE 5 ABOVE.



SECTION

- CLEAN-OUT BODIES SHALL BE PVC MODEL 2-115 STANDARD FERRULE TYPE AND CLEAN-OUT PLUG SHALL BE CAST IRON, S-PLAIN COUNTERSUNK AS MANUFACTURED BY TYLER PIPE, OR APP. EQUAL.
- CLEAN-OUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEAN-OUT.



SPECIFICATIONS

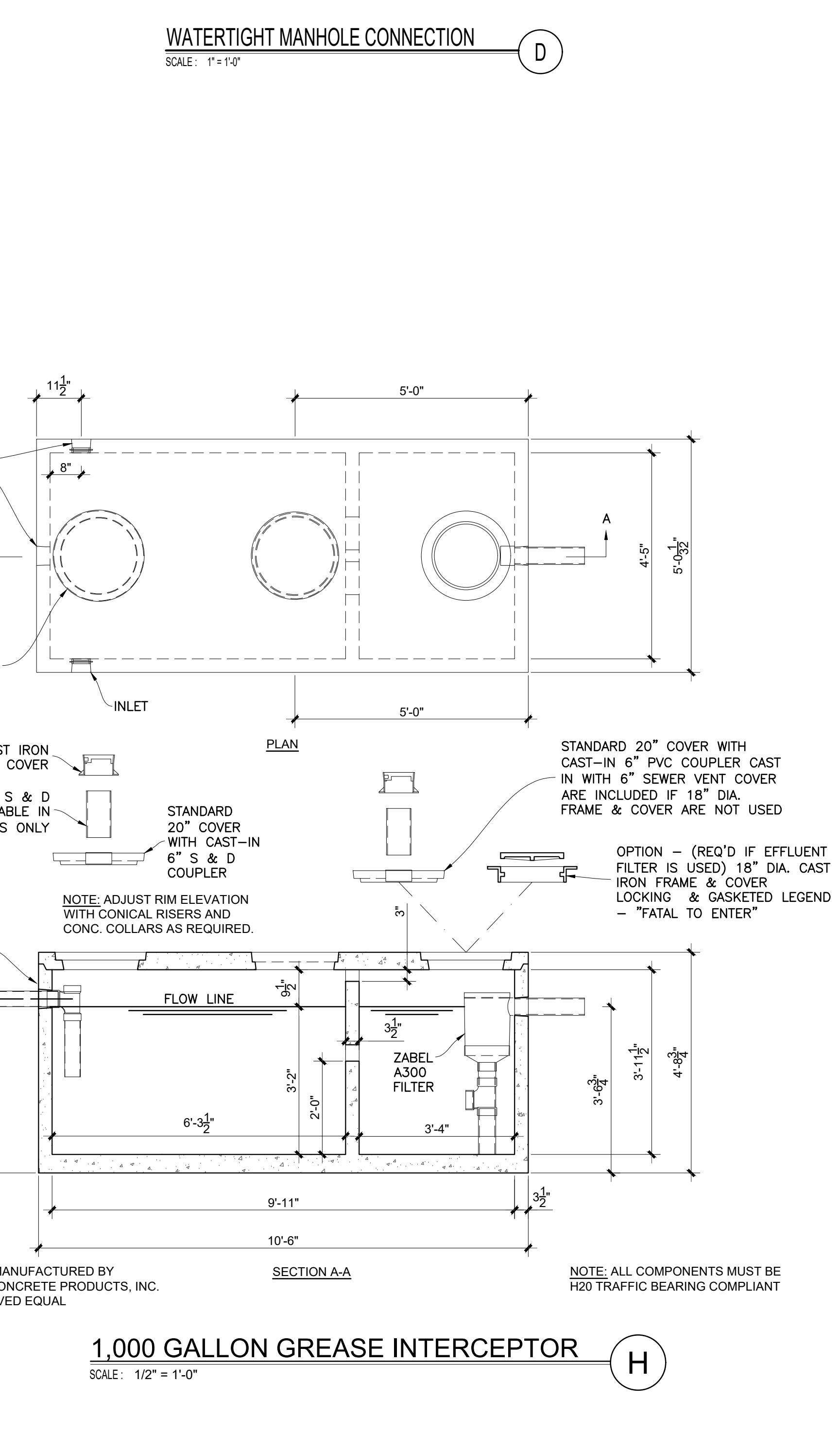
ALL BOOT ASSEMBLY COMPONENTS SHALL MEET OR EXCEED ALL MATERIAL SPECIFICATIONS OF A.S.T.M. C-923. BOOTS ARE ADAPTABLE FOR PIPE RANGING FROM 3" TO 51".
MINIMUM THICKNESS = 0.290" ± 0.025 (0.300" ± 0.025 FOR 18" PIPES OR LARGER.
MINIMUM COMPOUND TENSILE STRENGTH OF RUBBER = 1,800 P.S.I.
ELONGATION OF RUBBER = 450% - 550%
SHORE A DUROMETER OF RUBBER = 42 ± 5
RUBBER COMPOUND MEETS OR EXCEEDS A.S.T.M. C-923

GASKET: TYPE 304 STAINLESS STEEL = 85,000 P.S.I.
YIELD STRENGTH OF STEEL = 35,000 P.S.I.
26" PIPES OR LESS = 1.5" WIDE 11 GAUGE
28" PIPES OR LARGER = 1.5" WIDE 10 GAUGE
POWER SLEEVE STAINLESS STEEL MEETS OR EXCEEDS A.S.T.M. C-923.

POWER SLEEVE: ALL STAINLESS STEEL CLAMP BANK, SADDLE, & HOUSING MADE OF TYPE 302 SCREW MADE OF TYPE 305 STAINLESS STEEL STAINLESS STEEL SHALL MEET OR EXCEED A.S.T.M. C-923

TAKE-UP CLAMPS: FOR PIPES WITH OUTSIDE DIAMETERS LESS THAN 14.5" (PSX), A SINGLE CLAMP IS STANDARD; (PSX-2) DOUBLE CLAMPS IS OPTIONAL. FOR PIPES WITH OUTSIDE DIAMETERS LARGER THAN 14.5" DOUBLE CLAMPS (PSX-2) IS STANDARD. FOR PROPER CLAMP SIZING SEE PSX CLAMP ACCOMMODATION CHART.

SUPPLIED BY: PRESS SEAL GASKET (OR APPROVED EQUAL) CORPORATION, 3414 WELLS STREET, FORT WAYNE, INDIANA 46808.



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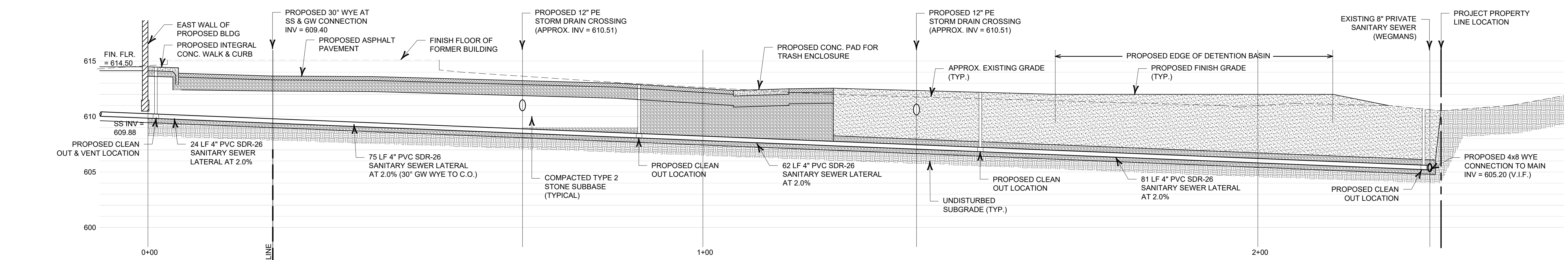
SITE UTILITY DETAILS

ISSUED
11/18/22
LAUER-MANGUSO ASSOCIATES ARCHITECTS

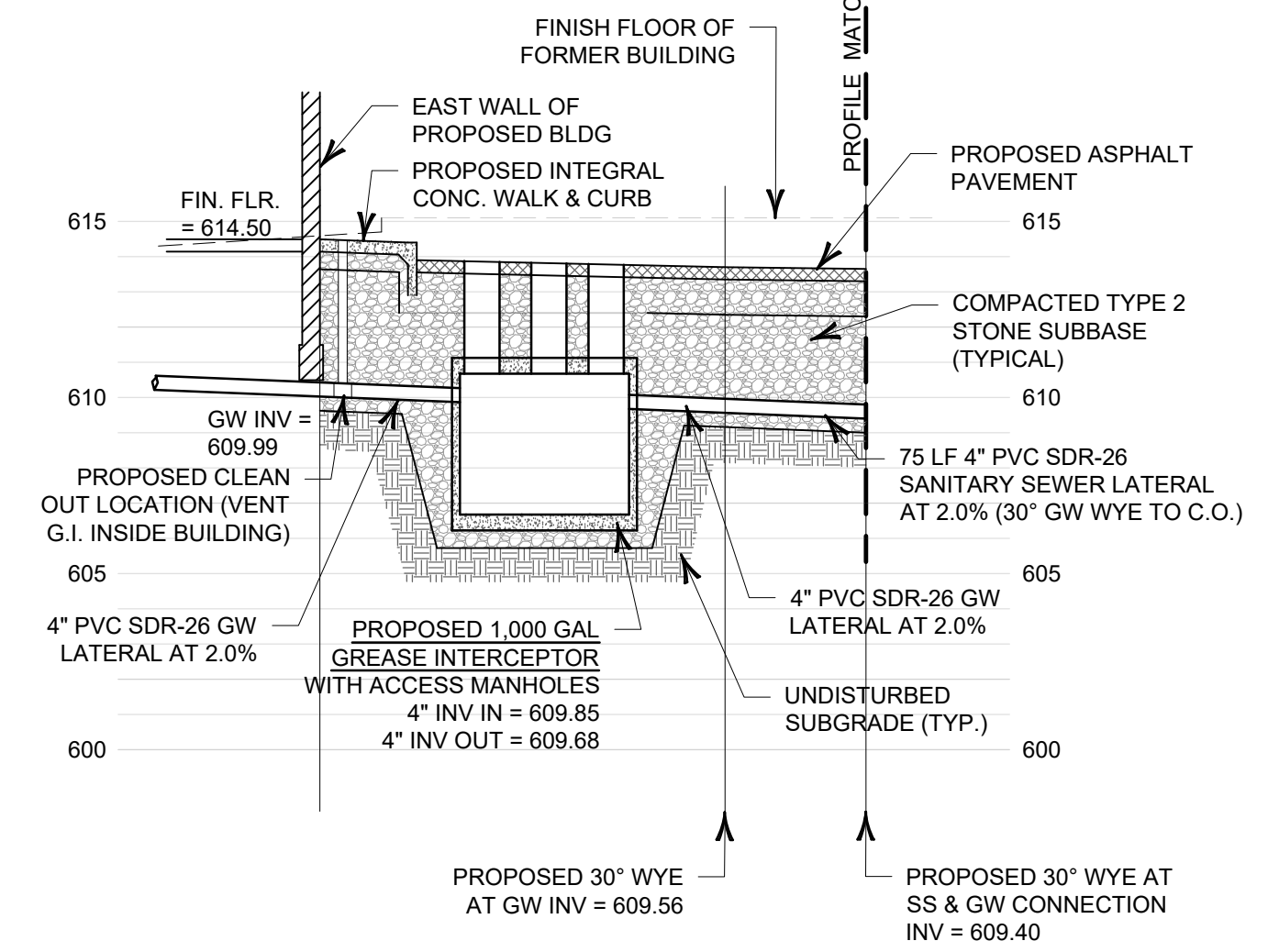
REGISTERED LANDSCAPE ARCHITECT
ROBERT J. BLAZEK
No. 001544
STATE OF NEW YORK

LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/2021
Drawing No. C-3.1
CheckedBy: JAM
Job Number: 21034



SANITARY SEWER LATERAL PROFILE
 SCALE: VERT: 1"=5'
 HORIZ: 1"=10'



GREASY WASTE LATERAL PROFILE
 SCALE: VERT: 1"=5'
 HORIZ: 1"=10'

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1	ISSUED: PLANNING BD. REVIEW	3-29-22
-	ISSUED: SEQR REVIEW	3-4-22
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-	ISSUED: PH, 1 DEMO PERMIT	2-11-22
-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

RACHEL'S GRILL
 310 ORCHARD PARK ROAD
 WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
 285 DELAWARE AVE., BUFFALO, NY

SANITARY SEWER PROFILES

ISSUED
 11/18/22
 LAUER-MANGUSO
 ASSOCIATES ARCHITECTS



LAUER-MANGUSO & ASSOCIATES ARCHITECTS
 4080 Ridge Lea Road
 Buffalo, N.Y. 14228
 (716) 837-0833

Date: 11/19/20
 Drawn By: KJP, RJB
 Checked By: PJM
 Job Number: 20104

Drawing No.
C-3.2

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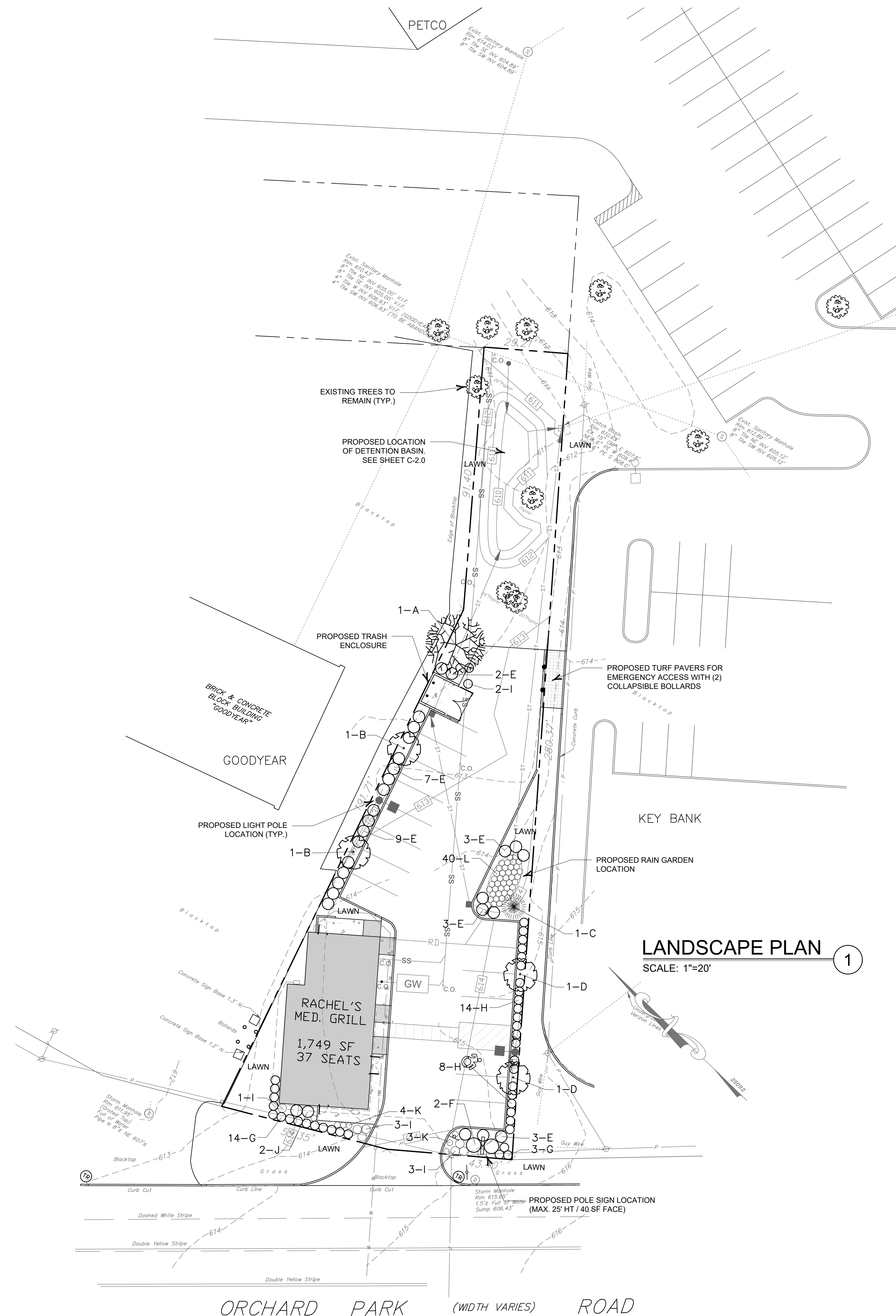
LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE INCLUDING FERTILIZING, RE-SEEDING, AND WATERING AS REQUIRED DURING LANDSCAPE INSTALLATION AND PLANTING AND AFTERWORD FOR A MINIMUM PERIOD OF 12 MONTHS FROM PLANTING DATE (THE GUARANTEE PERIOD FOR ALL PLANT MATERIALS).
- THE CONTRACTOR SHALL SCARIFY ALL NEW LANDSCAPE AREAS PRIOR TO SEEDING. REMOVE DEBRIS AND ROCKS TO 6" DEPTH PRIOR TO APPLYING TOPSOIL. LIME SOIL AS NECESSARY TO A pH OF 6.5. FERTILIZE WITH 850 lbs. OF 5-10-10 OR EQUIVALENT PER ACRE (20 lbs. PER EVERY 1000 SQ. FT.). LIME AND FERTILIZE THE TOP 2"-4" OF TOPSOIL.
- THE CONTRACTOR SHALL FURNISH AND INSTALL A 3" MINIMUM LAYER OF HIGH-QUALITY SHREDDED HARDWOOD BARK MULCH (COLOR = BLACK) IN ALL PLANTING BEDS THAT ARE NOT ADJACENT TO THE BUILDING OR DRIVE THRU LANES. 3"-4" ROUND RIVER ROCK SHALL BE USED IN THOSE AREAS.
- ALL PROPOSED LANDSCAPE AREAS AND PLANTING BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR UNSUITABLE SOILS TO A DEPTH OF 24" AND BACKFILLED WITH TOPSOIL AND THE PLANTING MIXTURE AS SPECIFIED IN THE DETAILS.
- THE CONTRACTOR SHALL ERECT TEMPORARY CONSTRUCTION FENCING AROUND ALL EXISTING TREES TO REMAIN WITHIN THE PROJECT LIMITS TO PROTECT FROM SITE WORK DISTURBANCE.
- SLOPE STABILIZATION MATTING MAY BE USED TO COVER SEEDING ON ANY SLOPE EMBANKMENTS STEEP ENOUGH TO IMPEDE THE ESTABLISHMENT OF LAWN AREAS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES TO PROTECT LIMBS AND ROOTS OF EXISTING TREES AND VEGETATION THAT WILL REMAIN.
- INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN CONFORMANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTING BED AREAS THAT ARE NOT ADJACENT TO PAVED SURFACES SHALL HAVE A CLEAN EDGE CUT WITH A FLAT SPADE INTO THE LAWN AREA.
- THE OWNER OR CONTRACTOR SHALL RETAIN THE SERVICES OF A CERTIFIED TREE SURGEON TO REMOVE AS NECESSARY ANY BRANCHES OR LIMBS OF TREES OR BUSHES TO REMAIN WHICH MAY INTERFERE WITH CONSTRUCTION ACTIVITIES.
- UNLESS RECOMMENDED OTHERWISE BY THE SEED VENDOR OR THE LANDSCAPE CONTRACTOR, PERMANENT GRASS SEEDING SHALL CONSIST OF A MIXTURE OF THE FOLLOWING:
 - KENTUCKY BLUEGRASS = 25% BY WEIGHT (98% MIN., PURITY: 85% MIN., GERMINATION)
 - PENN LAWN RED FESCUE = 25% BY WEIGHT (95% MIN., PURITY: 80% MIN., GERMINATION)
 - TRIPLE CROWN PERENNIAL RYE = 50% BY WEIGHT (95% MIN., PURITY: 90% MIN., GERMINATION)
- SOW NEW LAWN SEED AT A RATE OF 5 lbs. PER 1000 SQ. FT. RAKE SEED INTO TOP 1/8" OF TOPSOIL, ROLL, AND WATER WITH FINE MIST. WATER SEED AS RECOMMENDED BY SEED VENDOR.
- INOCULANTS SHALL BE ADDED IMMEDIATELY PRIOR TO SEEDING. SUBSEQUENT WEEDING AND FERTILIZING SHALL BE AS DIRECTED BY THE SEED VENDOR, LANDSCAPE CONTRACTOR, OR LANDSCAPE ARCHITECT.
- BROADCASTING OR DRILLING WITH A CULPACK-TYPE SEEDER OR HYDROSEEDING ARE ALL ACCEPTABLE METHODS OF SEEDING.
- TOPSOILING AND SEEDING, HYDROSEEDING, OR SODDING SHALL TAKE PLACE WITHIN 24 HOURS OF FINAL GRADING.
- FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS REQUIRED BY THE MANUFACTURER. FERTILIZERS SHALL BE COMPLETELY WORKED INTO THE SOIL IMMEDIATELY FOLLOWING APPLICATION TO LIMIT EXPOSURE TO STORMWATER RUNOFF. FERTILIZERS SHALL BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS SHALL BE TRANSFERRED TO A SECURELY-SEALED BIN TO AVOID SPILLS.
- THE GROUNDSKEEPER SHALL SET THE LAWN MOWER BLADE LEVEL SO THAT IT CUTS NO MORE THAN THE TOP THIRD OF EACH BLADE OF GRASS TO ENSURE SURVIVAL.
- IF ROOTS OF EXISTING TREES TO REMAIN NEED TO BE REMOVED TO ALLOW FOR NEW STRUCTURE, UNDERGROUND UTILITY, OR PAVEMENT INSTALLATION A CERTIFIED TREE SURGEON SHALL PERFORM ALL SUCH WORK AND SHALL PRUNE THE CANOPY TO AN EQUAL PROPORTION.

PLANTING SCHEDULE

	SYMBOL	QUAN.	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	REMARKS *	SPACING
TREES	A	1	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	3" MIN. CAL. B&B	45' HEIGHT 35' SPREAD	N/A
	B	2	AMELANCHIER x GRANDIFLORA	APPLE SERVICEBERRY	2.5" MIN. CAL. B&B	15' HEIGHT 15' SPREAD	40' O.C. MAX.
	C	1	PICEA OMORIKA	SERBIAN SPRUCE	8" MIN. HT. B&B	75' HEIGHT 20' SPREAD	N/A
SHRUBS	D	2	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2.5" MIN. CAL. B&B	20' HEIGHT 15' SPREAD	35' O.C. MAX.
	E	27	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	COMPACT PFITZER JUNIPER	24" HT. CONTAINER	3' HEIGHT 5' SPREAD	4' O.C. MIN.
	F	2	PHYSOCARPUS OPULIFOLIUS 'MONLO'	DIABLO NINEBARK	48" HT. CONTAINER	8' HEIGHT 8' SPREAD	6' O.C. MAX.
	G	17	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	24" HT. CONTAINER	2' HEIGHT 3' SPREAD	3' O.C. MIN.
	H	22	ROSA 'KNOCKOUT'	KNOCKOUT ROSE	24" HT. CONTAINER	3' HEIGHT 3' SPREAD	3' O.C. MIN.
	I	9	SPIRAEA BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	24" HT. CONTAINER	3' HEIGHT 3' SPREAD	3' O.C. MIN.
PERENNIALS	J	2	CALAMAGROTIS x ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	NO. 2 CONTAINER	5' HEIGHT 3' SPREAD	4' O.C. MIN.
	K	7	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	NO. 2 CONTAINER	2' HEIGHT 2' SPREAD	2' O.C. MIN.
	L	40	LOBELIA CARDINALIS	CARDINAL FLOWER	NO. 2 CONTAINER	3' HEIGHT 2' SPREAD	2' O.C. MIN.

* MATURE SIZE
NOTE: CALIPER SIZE SHALL BE AS MEASURED 6" ABOVE THE GROUND



IMPERVIOUS COVERAGE: (TOTAL AREA = 15,210 SF)

EXISTING CONDITIONS = 7,407 SF GREEN = 49%
PROPOSED CONDITIONS = 3,070 SF GREEN = 20%

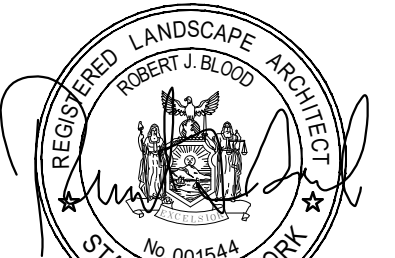
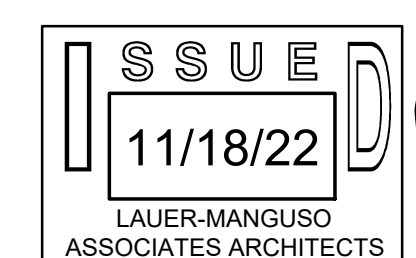
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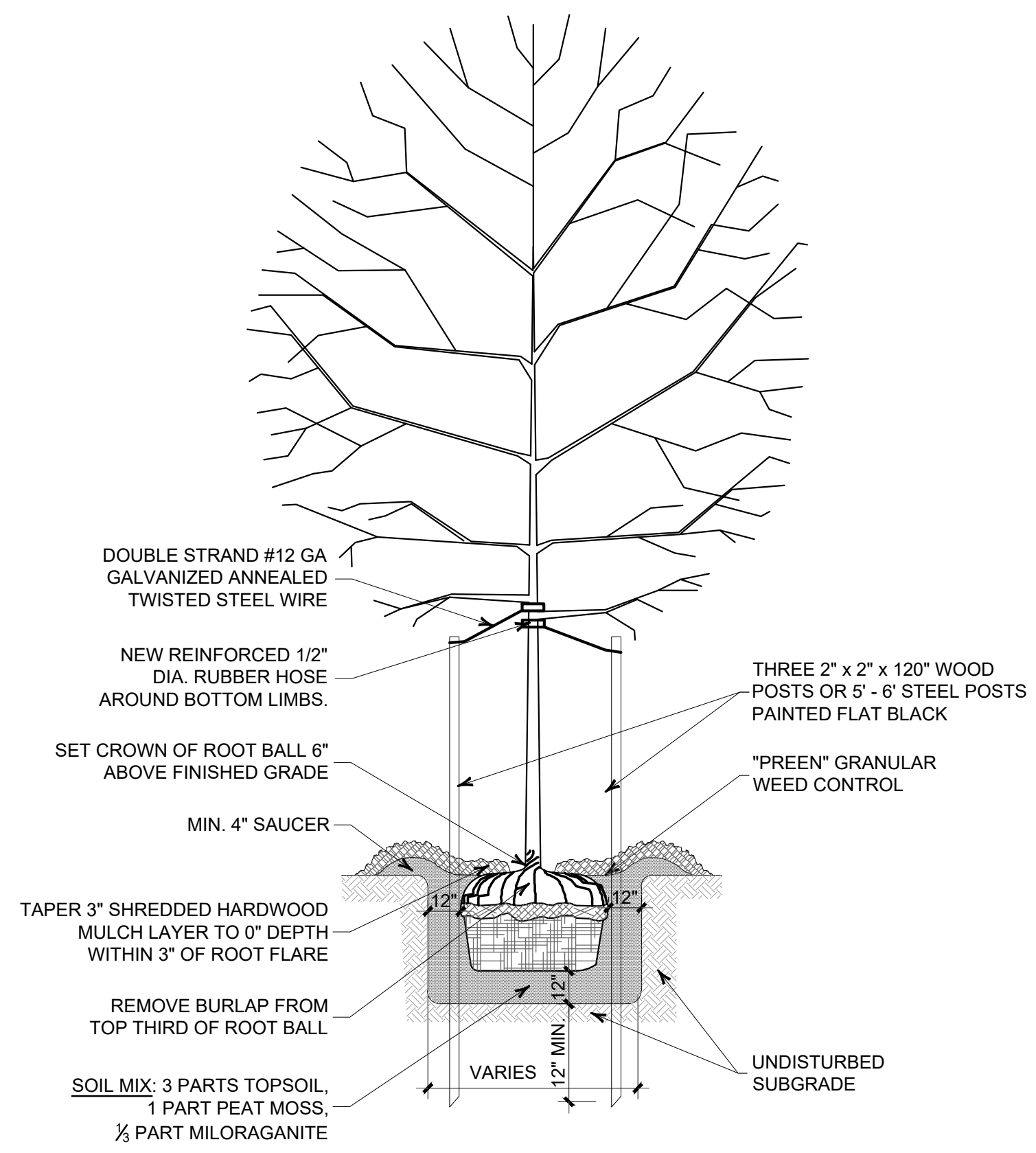
LANDSCAPE PLAN



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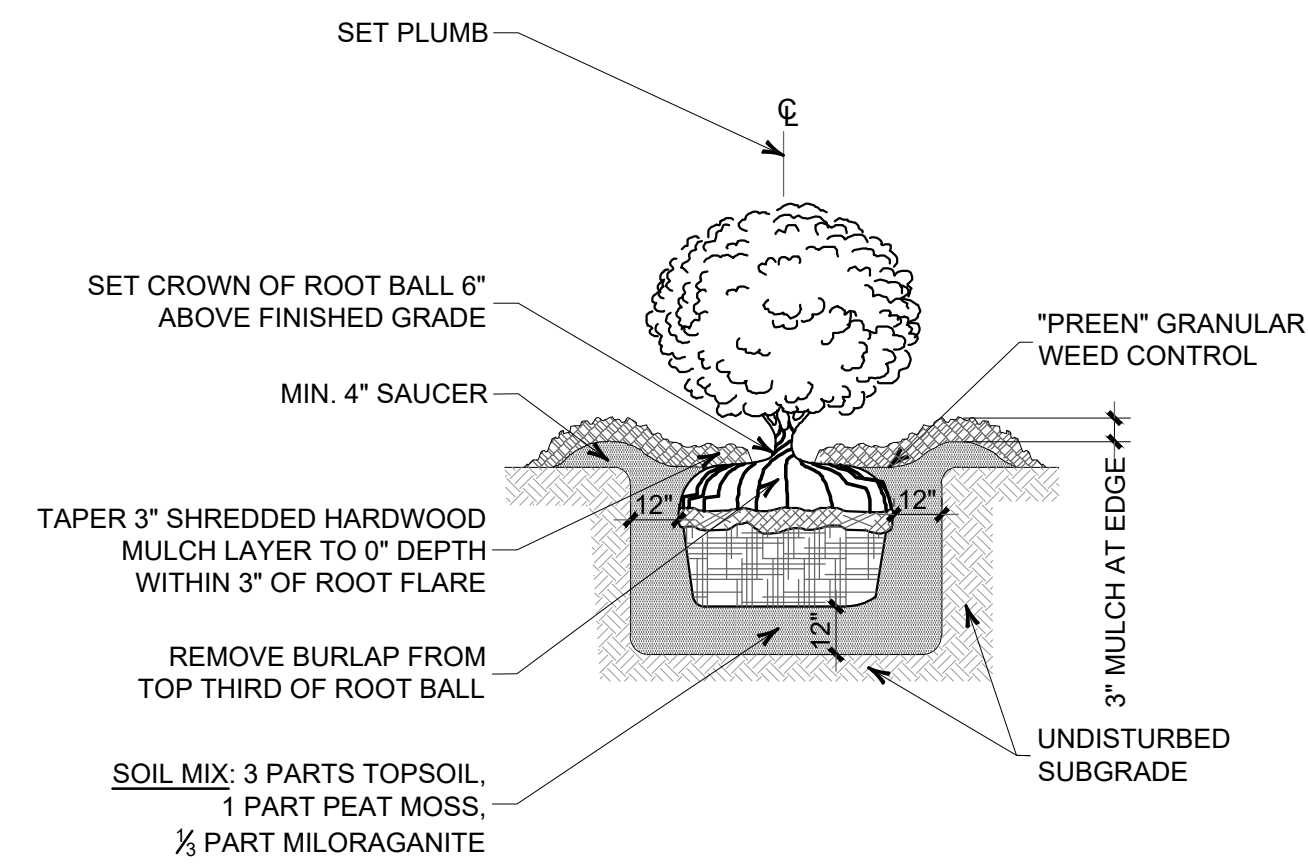


TREE PLANTING DETAIL

SCALE: 1/4" = 1'-0"

NOTE: ALL TOPSOIL SHALL MEET OR EXCEED N.Y.S.D.O.T. SECTION 713-01 REQUIREMENTS.

A



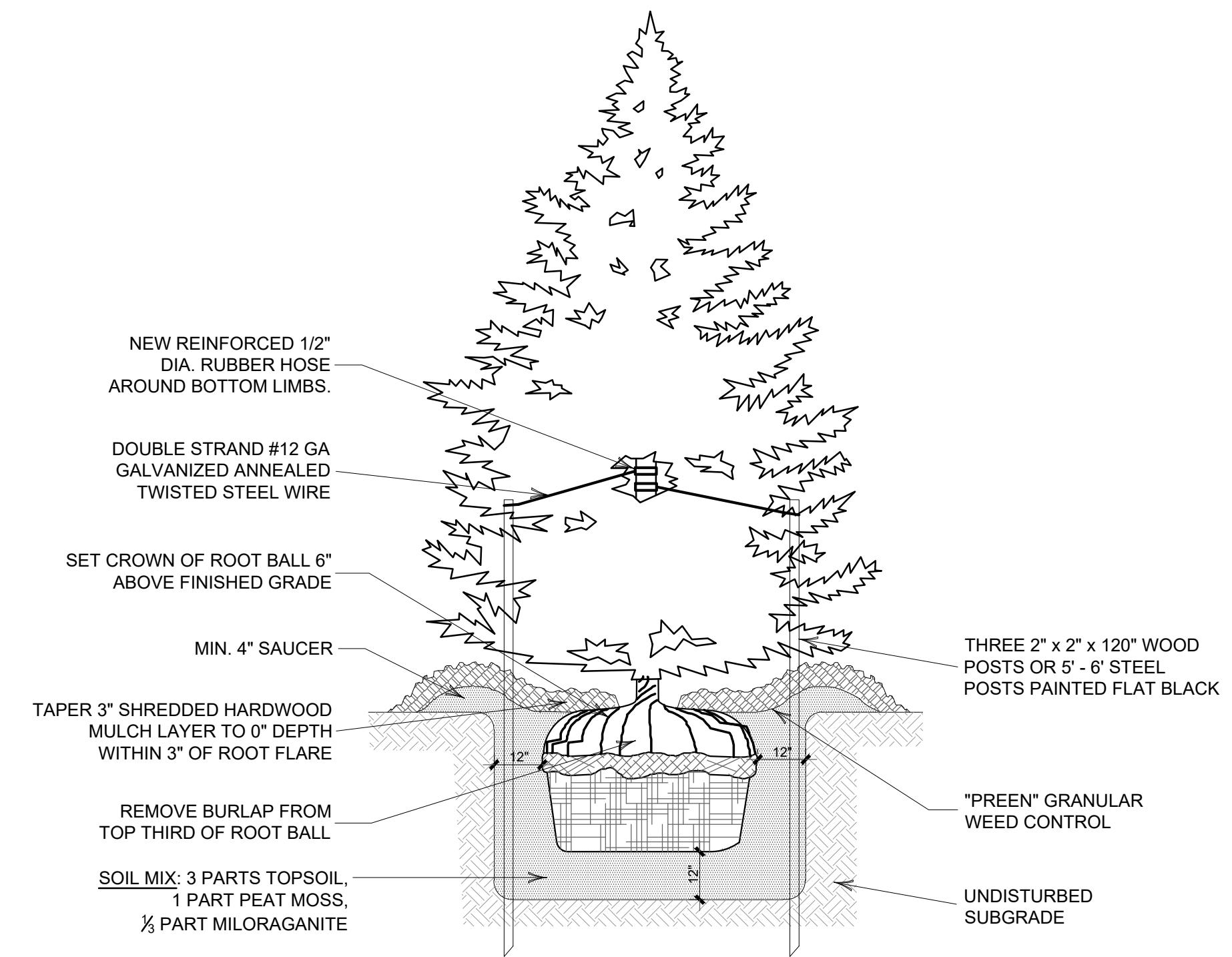
SHRUB PLANTING DETAIL

SCALE: 1/4" = 1'-0"

NOTES:

1. AT NO TIME SHOULD THE TOP OF THE ROOT BALL BE BELOW GROUND LEVEL.
2. WATERING: WATER THOROUGHLY AT PLANTING TIME, THEN EVERY DAY FOR 1 WEEK, THEN EVERY 2-3 DAYS FOR 5 WEEKS, THEN, ONCE PER WEEK AFTERWARDS AS NECESSARY.
3. NEW TOPSOIL SHALL CONFORM TO N.Y.S.D.O.T. SECTION 713-01.

B

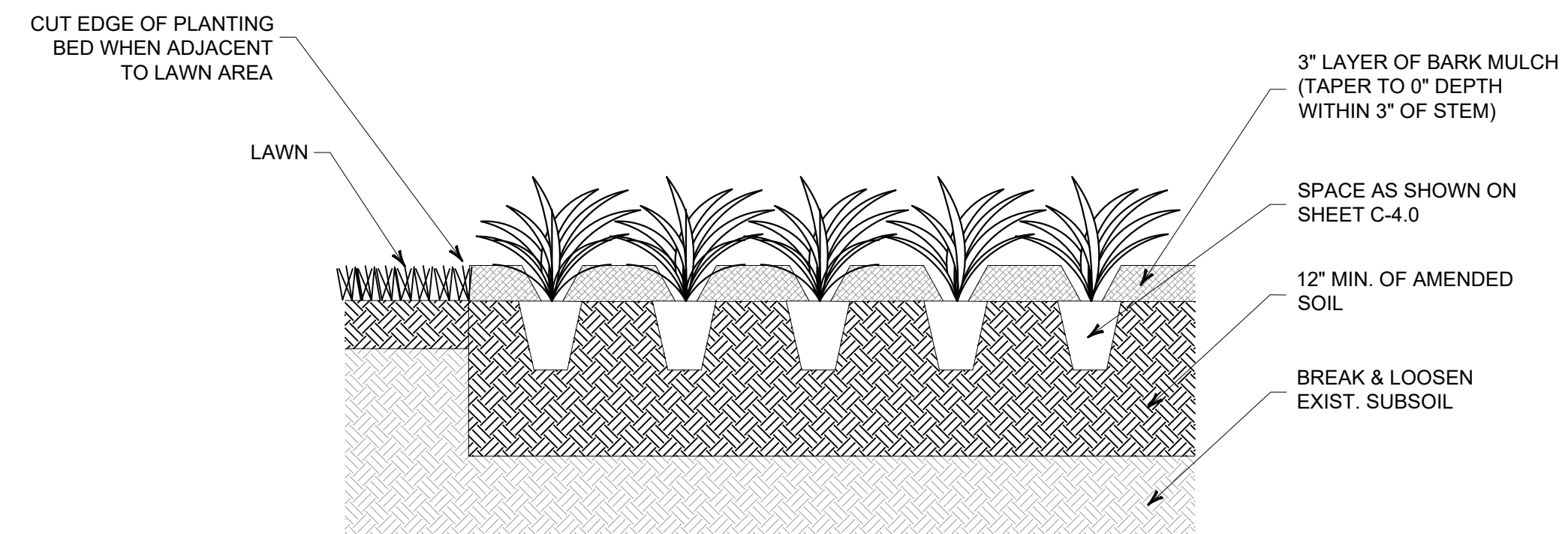


EVERGREEN PLANTING DETAIL

SCALE: N.T.S.

NOTE: ALL TOPSOIL SHALL MEET OR EXCEED N.Y.S.D.O.T. SECTION 713-01 REQUIREMENTS.

D



PERENNIAL PLANTING DETAIL

SCALE: 1" = 1'-0"

C

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LANDSCAPE DETAILS

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DEMOLITION NOTES:

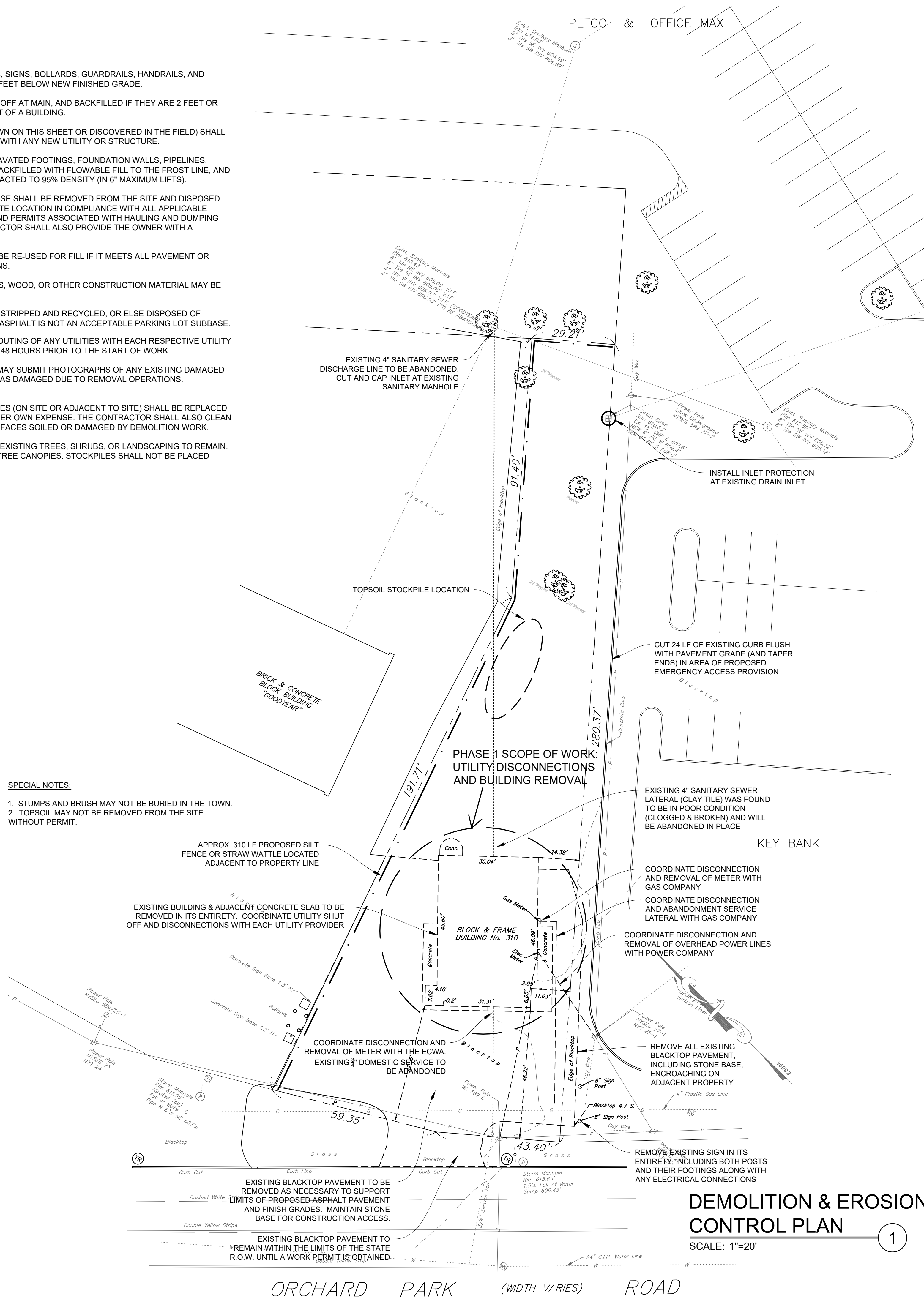
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS FOR CLEARING, SOIL EROSION PROTECTION, AND DISPOSING OF DEBRIS FROM SITE.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION, OR RE-ROUTING OF ANY UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY. NOTIFY UTILITY COMPANIES OR AGENCIES AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
- THE DEMOLITION CREW SHALL PERSONALLY EXAMINE THE SITE PRIOR TO THE START OF EXCAVATION OR DEMOLITION WORK TO ASSESS THE ENTIRE SITE AND ITS CONDITIONS. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THIS DEMOLITION PLAN SHALL BE BROUGHT TO THE ATTENTION OF LAUER-MANGUSO & ASSOC. AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- UNLESS DIRECTED OTHERWISE BY THE OWNER, ALL EXISTING CONCRETE SLABS SHALL BE BROKEN UP AND RECYCLED, RE-USED, OR DISPOSED OF AS PER LOCAL REGULATIONS.
- PROPER SIGNAGE AND BARRIERS SHALL BE SET UP BY THE CONTRACTOR PRIOR TO DEMOLITION OR EXCAVATION IN ORDER TO PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE DEMOLITION OR CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL FOLLOW ALL SOIL PREPARATION AND FOUNDATION CONSTRUCTION RECOMMENDATIONS AS DESCRIBED WITHIN THIS SET OF SITE PLANS.
- THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, SIDEWALKS, PAVEMENTS, AND UTILITIES FROM ANY DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CAUSED BY EARTHWORK, DEMOLITION, OR EXCAVATING OPERATIONS. THE CONTRACTOR SHALL BARRICADE PORTIONS UNTIL REPAIRS AND STABILIZATION CAN BE MADE.
- THE CONTRACTOR SHALL DETERMINE EXACT DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL CALL O.U.P.S. AT 811 OR 1-800-362-2764 AT LEAST 72 HOURS PRIOR TO EXCAVATION FOR FLAGGING OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOT TRESPASS OR COMMENCE WORK WITHIN ANY PROPERTIES, EASEMENTS, OR RIGHT-OF-WAYS OUTSIDE THE LIMIT OF WORK LINE SHOWN ON THIS DRAWING UNLESS THE RESPECTIVE OWNERS OR AGENCIES ARE NOTIFIED.
- THE CONTRACTOR SHALL REMOVE ALL VISIBLE AND PARTIALLY BURIED DEBRIS PILES FROM AREAS TO BE DEVELOPED OR GRADED AND DISPOSE OF AT AN APPROPRIATE OFF-SITE LOCATION IN COMPLIANCE WITH AUTHORITIES HAVING JURISDICTION. ALL COSTS ASSOCIATED WITH HAULING AND DUMPING SHALL BE BORNE BY THE CONTRACTOR.
- ANY RUBBLE, BRICK, BOULDERS, OR WOOD FILL MATERIAL SHALL REQUIRE UNDERCUTTING AND REMOVAL IF ENCOUNTERED IN THE SUBGRADE.
- THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE SUBGRADE, TOPSOIL, OR UNSUITABLE FILL MATERIAL (DEBRIS, TRASH, FROZEN MATERIALS, AND ROOTS) THAT MAY CAUSE SETTLING UNDER NEW FOUNDATIONS OR PAVEMENT.
- THE CONTRACTOR SHALL COMPLETELY REMOVE CONCRETE SLABS AND ANY OTHER BUILDING ATTACHMENTS (ABOVE OR BELOW GRADE). EXISTING BUILDING FOUNDATION WALLS SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW NEW FINISHED GRADE EXCEPT WHERE CONFLICTS EXIST WITH NEW STRUCTURES.
- ANY FOUNDATIONS OF EXISTING FENCES, PLANTERS, SIGNS, BOLLARDS, GUARDRAILS, HANDRAILS, AND POLES TO BE DEMOLISHED SHALL BE REMOVED TO 2 FEET BELOW NEW FINISHED GRADE.
- ALL ABANDONED UTILITIES SHALL BE CAPPED, SHUT OFF AT MAIN, AND BACKFILLED IF THEY ARE 2 FEET OR MORE BELOW GRADE, OR IF THEY ARE WITHIN 10 FEET OF A BUILDING.
- ANY UTILITY LINES NO LONGER IN USE (EITHER SHOWN ON THIS SHEET OR DISCOVERED IN THE FIELD) SHALL BE COMPLETELY REMOVED IF THEY ARE IN CONFLICT WITH ANY NEW UTILITY OR STRUCTURE.
- ANY CAVITIES OR TRENCHES REMAINING FROM EXCAVATED FOOTINGS, FOUNDATION WALLS, PIPELINES, BASEMENTS, AND UNDERGROUND TANKS SHALL BE BACKFILLED WITH FLOWABLE FILL TO THE FROST LINE, AND CRUSHER RUN STONE ABOVE THE FROST LINE, COMPACTED TO 95% DENSITY (IN 6" MAXIMUM LIFTS).
- ALL EXCAVATED MATERIALS NOT SUITABLE FOR REUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT AN APPROPRIATE OFF-SITE LOCATION IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS. THE RESPONSIBILITY FOR ALL FEES AND PERMITS ASSOCIATED WITH HAULING AND DUMPING SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO PROVIDE THE OWNER WITH A MANIFEST LIST.
- ANY EXCAVATED STONE SUBGRADE MATERIAL MAY BE RE-USED FOR FILL IF IT MEETS ALL PAVEMENT OR BUILDING SUBGRADE OR FOUNDATION SPECIFICATIONS.
- FOR COST SAVINGS, ANY EXISTING MASONRY, GLASS, WOOD, OR OTHER CONSTRUCTION MATERIAL MAY BE RECYCLED IF DESIRED.
- ALL ASPHALT SURFACES TO BE REMOVED SHALL BE STRIPPED AND RECYCLED, OR ELSE DISPOSED OF PROPERLY AT AN APPROPRIATE OFF-SITE LOCATION. ASPHALT IS NOT AN ACCEPTABLE PARKING LOT SUBBASE.
- COORDINATE THE REMOVAL, RELOCATION, OR RE-ROUTING OF ANY UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY. NOTIFY UTILITY COMPANIES OR AGENCIES 48 HOURS PRIOR TO THE START OF WORK.
- PRIOR TO THE START OF WORK, THE CONTRACTOR MAY SUBMIT PHOTOGRAPHS OF ANY EXISTING DAMAGED SITE FEATURES THAT MAY BE MISCONSTRUED LATER AS DAMAGED DUE TO REMOVAL OPERATIONS. PHOTOGRAPHS SHALL HAVE RECORDED DATES.
- ALL DAMAGED PROPERTY, LANDSCAPING, OR UTILITIES (ON SITE OR ADJACENT TO SITE) SHALL BE REPLACED OR RESTORED IN KIND BY THE CONTRACTOR AT HIS/HER OWN EXPENSE. THE CONTRACTOR SHALL ALSO CLEAN OR RESTORE ANY ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY DEMOLITION WORK.
- PROVIDE TEMPORARY SNOW-FENCING AROUND ALL EXISTING TREES, SHRUBS, OR LANDSCAPING TO REMAIN. CONSTRUCTION VEHICLES SHALL NOT DRIVE UNDER TREE CANOPIES. STOCKPILES SHALL NOT BE PLACED UNDER TREE CANOPIES.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE CONTRACTOR SHALL EXCAVATE ONLY WHAT IS REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY. WORK SHOULD PROGRESS IN STAGES AS EXCAVATION AND OCCURS.
- GRADING, TOPSOILING, AND STABILIZING SECTIONS MAY BE COMPLETED BEFORE EXCAVATION STARTS ON OTHER SECTIONS, IN ORDER NOT TO LEAVE ANY AREAS EXPOSED TO WIND AND RAIN EROSION FOR LONGER DURATION THAN NECESSARY.
- AREAS OF THE SITE WHICH ARE TO BE PAVED WITH NEW ASPHALT SHALL BE STABILIZED BY APPLYING THE GEOTEXTILE AND STONE SUBBASE LAYERS IMMEDIATELY FOLLOWING ROUGH GRADING.
- ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY AS ARRANGED FOR BY THE OWNER OR CONTRACTOR. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER ON A DAILY BASIS. ABSOLUTELY NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE.
- ALL VEHICLES ON SITE DURING THE ENTIRE DURATION OF CONSTRUCTION SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. ANY PETROLEUM PRODUCTS USED SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. SPILL KITS SHALL BE INCLUDED WITH ANY FUELING SOURCES AND MAINTENANCE ACTIVITIES AS NECESSARY.
- ALL PAINT CONTAINERS AND CURING COMPOUNDS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT SHALL BE PROPERLY DISPOSED OF IN CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS.
- EMERGENCY SPILL CLEAN-UP EQUIPMENT INCLUDING BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, TEMP. DRAINAGE INLET AND CATCH BASIN BERMS, SPILL KITS, AND PLASTIC OR METAL TRASH CONTAINERS SHALL BE STORED ONSITE IN THE CONSTRUCTION TRAILER OR OTHER STORAGE AREA DESIGNATED BY THE CONTRACTOR. ALL PERSONNEL SHALL BE INFORMED OF THE LOCATION OF SUCH.
- ANY ACCIDENTAL SPILLS SHALL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS REACHING THE STORM SEWER SYSTEM SHALL BE IMMEDIATELY REPORTED TO THE PROPER LOCAL AUTHORITIES AND THE NATIONAL RESPONSE CENTER (1-800-424-8802).
- THE CONTRACTOR SHALL STABILIZE BARE OR DISTURBED SOIL AREAS WITHIN 24 HOURS OF FINAL GRADING WITH PERMANENT EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN.
- INSPECTION OF ALL EROSION CONTROL DEVICES SHOWN ON THIS PLAN (TEMPORARY AND PERMANENT) SHALL BE PERFORMED BY THE OWNER'S DESIGNATED ON-SITE EROSION CONTROL INSPECTOR.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES SHOWN ON THIS PLAN ON A DAILY BASIS AND AFTER RAIN STORMS. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL EROSION CONTROL DEVICES AS SPECIFIED IN THIS PLAN AND ON THE EROSION CONTROL DETAILS.
- ALL WATER PUMPED FROM EXCAVATIONS SHOULD BE DIRECTED TO AN APPROVED SEDIMENT TRAP, SEDIMENT BASIN, OR FILTRATION DEVICE.
- ALL CATCH BASIN SUMPS SHALL BE CLEANED OUT OF DEPOSITED SOIL SEDIMENTS. A SHOP-VAC IS RECOMMENDED FOR THIS PURPOSE.
- ALL CHLORINATED WATER USED FOR FLUSHING WATERLINES SHALL BE DISCHARGED TO THE SANITARY SEWER AND NEVER TO ANY STORM SEWER, CATCH BASIN, SWALE, OR POND.
- ALL PORTABLE TOILETS SHALL BE LOCATED AWAY FROM GUTTERS, CATCH BASINS, STORM SEWERS, AND WATERWAYS. PORTABLE TOILETS SHALL BE PLACED ON A FLAT, STABLE GROUND SURFACE NOT PRONE TO FLOODING. ALL PORTABLE TOILETS SHALL BE ANCHORED TO PREVENT BLOWING OVER DURING WINDSTORMS.
- ANY DETERGENTS OR ACID CLEANERS WASHES USED TO CLEAN OR RINSE CONCRETE, STUCCO, MASONRY, ETC. SHALL BE DISCHARGED TO THE SANITARY SEWER AND NEVER TO ANY STORM SEWER, CATCH BASIN, SWALE, OR POND. THE USE OF BIODEGRADABLE DETERGENTS IS RECOMMENDED. WASHING OR RINSING PAINT TOOLS INTO THE SANITARY SEWER MAY REQUIRE A PERMIT FROM THE LOCAL SEWER AGENCY.
- IF FOUNDATION PESTICIDE APPLICATIONS ARE REQUIRED, DO NOT SPRAY FOUNDATIONS DURING OR WITHIN 24 HOURS OF PREDICTED RAIN EVENTS. RESTRICT SPRAYING TO THE INSIDE FOOTPRINT OF THE BUILDING.
- AVOID STORING PETROLEUM PRODUCTS ON SITE IF POSSIBLE. IF NOT POSSIBLE, STORE AWAY FROM CATCH BASINS OR DRAINAGE WAYS. PROMPTLY CONTAIN AND CLEAN UP ANY SPILLS AND RECAPTURE / RECYCLE ALL MOTOR OIL OR LUBRICANTS IF VEHICLES ARE MAINTAINED ON SITE.
- AVOID ON-SITE STORAGE OF PESTICIDES, FERTILIZERS, AND HERBICIDES. IF UNAVOIDABLE, ALL CHEMICALS SHALL BE STORED IN ORIGINAL PACKAGES IN A SEPARATELY DESIGNATED COVERED CONTAINMENT AREA COVER TREATED WOOD IF STORED ONSITE SO THAT STORMWATER RUNOFF PASSING OVER THE TREATED SURFACE WILL NOT CARRY CHEMICALS INTO DOWNSTREAM BODIES OF WATER.
- USE CLEAN OR RECYCLED WATER WHEN SPRINKLING FOR DUST CONTROL.

SPECIAL NOTES:

- STUMPS AND BRUSH MAY NOT BE BURIED IN THE TOWN.
- TOPSOIL MAY NOT BE REMOVED FROM THE SITE WITHOUT PERMIT.



CODE & SITE DATA

PROJECT PARCEL AREA = 0.35 ACRES +/-
ZONING DISTRICT: C-2 (S) COMMERCIAL DISTRICT

No.	Description	Date
2	RE-ISSUED FOR PB REVIEW	11-18-22
1	ISSUED: PLANNING BD. REVIEW	3-29-22
-	ISSUED: SEQR REVIEW	3-4-22
-	ISSUED: ECWA REVIEW	2-28-22
-	ISSUED: WEGMANS REVIEW	2-17-22
-	ISSUED: PH. 1 DEMO PERMIT	2-11-22
-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

DEMO & EROSION CONTROL PLAN



LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/2021
Drawn By: RJB
Checked By: JAM
Job Number: 21034
Drawing No. **C-5.0**

DEMOLITION & EROSION CONTROL PLAN

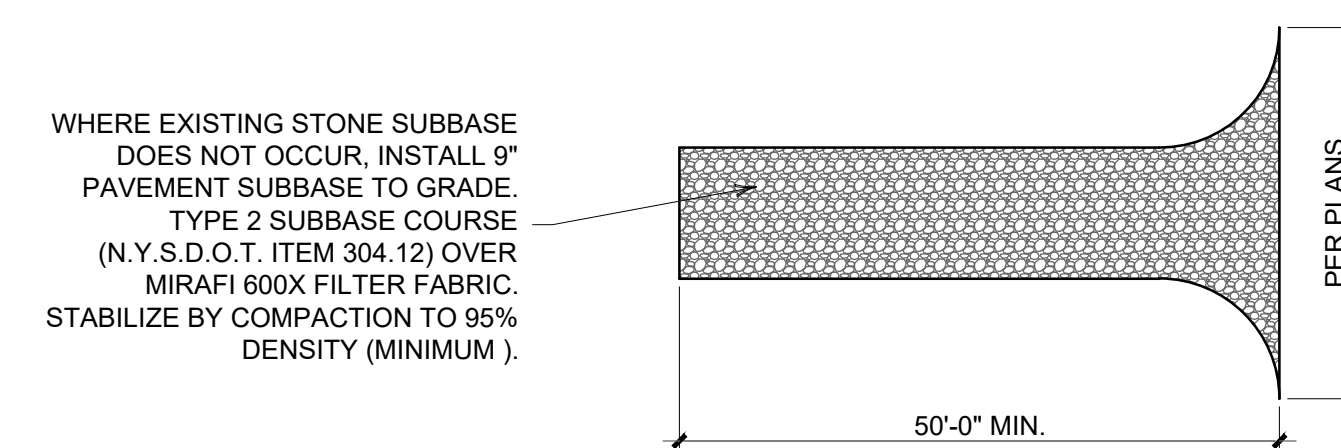
SCALE: 1"=20'

1

GENERAL CONSTRUCTION SEQUENCE

*** THE CONSTRUCTION SEQUENCE BELOW IS INTENDED TO BE A GENERAL GUIDELINE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PREVENTION DEVICES ONLY. SPECIFIC CONSTRUCTION TECHNIQUES, MEANS, METHODS, AND SCHEDULING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND OWNER.

- OBTAIN ALL BUILDING PERMITS, INCLUDING CLEARING, STRIPPING, AND GRUBBING PERMITS.
- OBTAIN A DUMPSTER AND A DEBRIS DISPOSAL PERMIT AS NECESSARY.
- HOLD PRE-CONSTRUCTION MEETING WITH OWNER'S REPRESENTATIVE.
- FLAG CLEARING LIMITS AS SHOWN ON THE SITE DEMOLITION PLAN.
- INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE WHERE SHOWN ON THE EROSION CONTROL PLAN AS PER THE INSTALLATION INSTRUCTIONS ON THE EROSION CONTROL DETAILS.
- INSTALL THE TEMPORARY SILT FENCING WHERE SHOWN ON THE EROSION CONTROL PLAN AS PER THE INSTALLATION INSTRUCTIONS ON THE EROSION CONTROL DETAILS.
- CLEAR, GRUB, AND STRIP THE SITE AS SHOWN ON THE SITE DEMOLITION PLAN. STOCKPILE ALL TOPSOIL AS DIRECTED ON THE EROSION CONTROL PLAN.
- ROUGH GRADE THE ENTIRE SITE. ESTABLISH ANY TEMPORARY STORMWATER DIVERSIONS OR PIPE SEGMENTS AS NECESSARY. STABILIZE ALL DISTURBED AREAS AND STOCKPILES WITHIN 14 DAYS OF THE LAST DISTURBANCE ACTIVITY IN EACH AREA.
- INSTALL ALL UTILITIES AND STRUCTURES, INCLUDING CATCH BASINS, CULVERTS, AND STORM SEWERS AS SHOWN ON THE SITE UTILITY AND DRAINAGE PLANS AND DETAILS. TEMPORARY TRENCH BACKFILL STOCKPILES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION USING TARPS. IF LEFT FOR LONG PERIODS OF TIME OR DURING RAIN STORMS, MINIMAL DISTURBANCE AROUND TRENCH AREAS SHALL BE MADE TO REMOVE AS LITTLE VEGETATION AS POSSIBLE FROM THE VICINITY OF THE TRENCH.
- IMMEDIATELY INSTALL TEMPORARY CATCH BASIN INLET PROTECTION WHERE SHOWN ON THE EROSION CONTROL PLAN AS PER THE INSTALLATION INSTRUCTIONS ON THE EROSION CONTROL DETAILS.
- IMMEDIATELY INSTALL TEMPORARY PIPE INLET PROTECTION ON ALL CULVERT INLETS WHERE SHOWN ON THE EROSION CONTROL PLAN AS PER THE INSTALLATION INSTRUCTIONS ON THE EROSION CONTROL DETAILS.
- INSTALL STONE SUBBASE TO ALL PROPOSED PARKING AND BUILDING AREAS AND COMPACT AS SHOWN IN SPECIFICATIONS ON RESPECTIVE DETAILS AS SOON AS POSSIBLE FOLLOWING ROUGH GRADING AND COMPACTION OF SUBGRADE. IMPLEMENT DUST CONTROL MEASURES AS DIRECTED ON THE EROSION CONTROL PLAN NOTES.
- CONSTRUCT ALL BUILDINGS AND ACCESSORY STRUCTURES.
- COMPLETE FINAL GRADING, TOPSOILING, AND SEEDING. SEED/HYDROSEED AND INSTALL FLARED END SECTIONS ON ALL CULVERT PIPE OUTLETS WHERE SHOWN ON THE EROSION CONTROL PLAN AS PER THE INSTALLATION INSTRUCTIONS ON THE EROSION CONTROL DETAILS.
- INSTALL ALL ASPHALT AND CONCRETE PAVEMENT WHERE SHOWN ON THE SITE LAYOUT PLAN AS PER THE SITE DETAILS.
- INSTALL REMAINING LANDSCAPING (SHRUBS, TREES, MULCH, & STONE) WHERE SHOWN ON THE SITE LANDSCAPE PLAN AS PER THE LANDSCAPE DETAILS.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETED AND SITE VEGETATION IS IN PLACE AND STABILIZED SUCH THAT 70% COVERAGE IS OBTAINED AS CONFIRMED BY THE OWNER'S REPRESENTATIVE, REMOVE AND RE-USE OR ELSE DISPOSE OF ANY TEMPORARY EROSION CONTROL DEVICES AS DIRECTED IN THE MAINTENANCE INSTRUCTIONS ON EACH DEVICE'S RESPECTIVE DETAIL SHOWN ON THE EROSION CONTROL DETAILS.



TEMPORARY CONSTRUCTION ENTRANCE DETAIL (B)

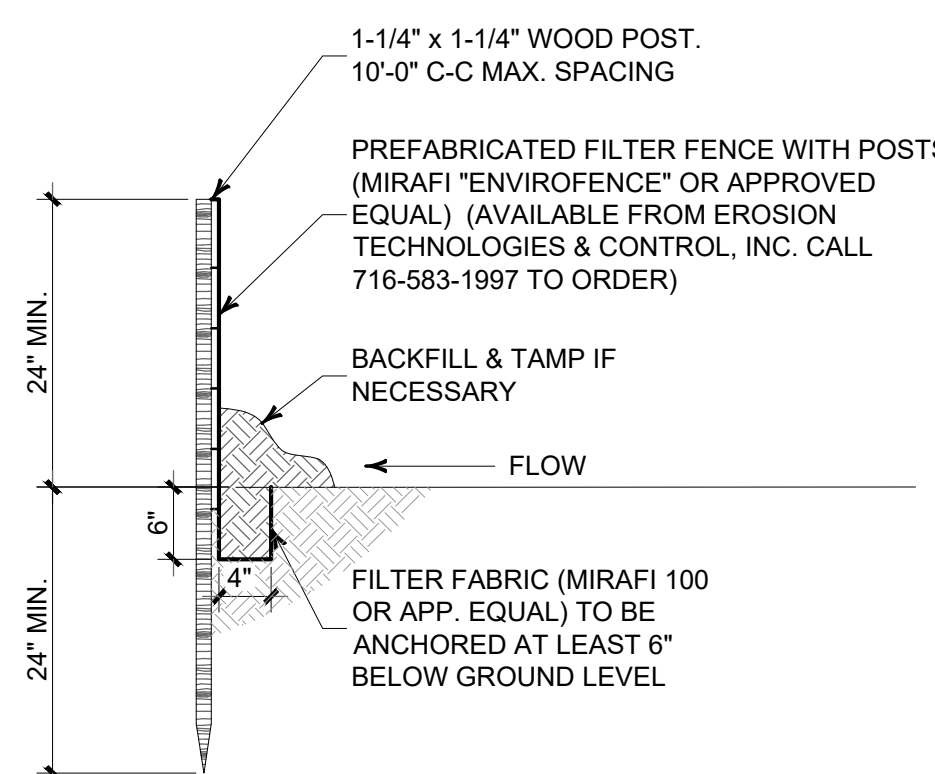
SCALE: 1/16" = 1'-0"

INSTALLATION INSTRUCTIONS:

- CLEAR AND GRUB FUTURE DRIVEWAY AREA AND COMPACT SUBGRADE TO 92% PROCTOR DENSITY (MINIMUM) OR AS DIRECTED BY OWNER'S REPRESENTATIVE. THE SUBGRADE SHALL THEN BE ROUGH GRADED (STONE WILL BECOME FUTURE DRIVEWAY SUBBASE).
- PRIOR TO INSTALLATION OF THE TEMPORARY CONSTRUCTION ENTRANCE STONE, ANY PROPOSED PIPES BENEATH THE DRIVEWAYS SHOWN ON THE SITE DRAINAGE PLAN OR SITE UTILITY PLAN SHALL BE INSTALLED AS PER THE DRAINAGE OR UTILITY DETAILS.
- PLACE FILTER FABRIC OVER SUBGRADE IN CONFORMANCE TO MANUFACTURER'S INSTRUCTION.
- ADD STONE IN 6 INCH MAXIMUM LIFTS. COMPACT TO 95% DENSITY (MINIMUM).

MAINTENANCE INSTRUCTIONS:

- MAINTAIN ENTRANCE SUCH THAT SEDIMENT OR MUD DOES NOT TRACK OR FLOW ONTO ADJACENT ROAD SURFACES IN THE RIGHT-OF-WAY. ANY SEDIMENT TRACKED OR FLOWING ONTO THE ADJACENT ROAD SURFACES IN THE RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF AS DIRECTED IN THE EROSION CONTROL PLAN.
- INSPECT ENTRANCES AFTER EACH RAINFALL. IF NECESSARY ADD ADDITIONAL AGGREGATE TO TOP SURFACE.
- THE ABOVE MAINTENANCE PROCEDURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



SECTION

SILT FENCE DETAIL (C)

SCALE: 3/4" = 1'-0"

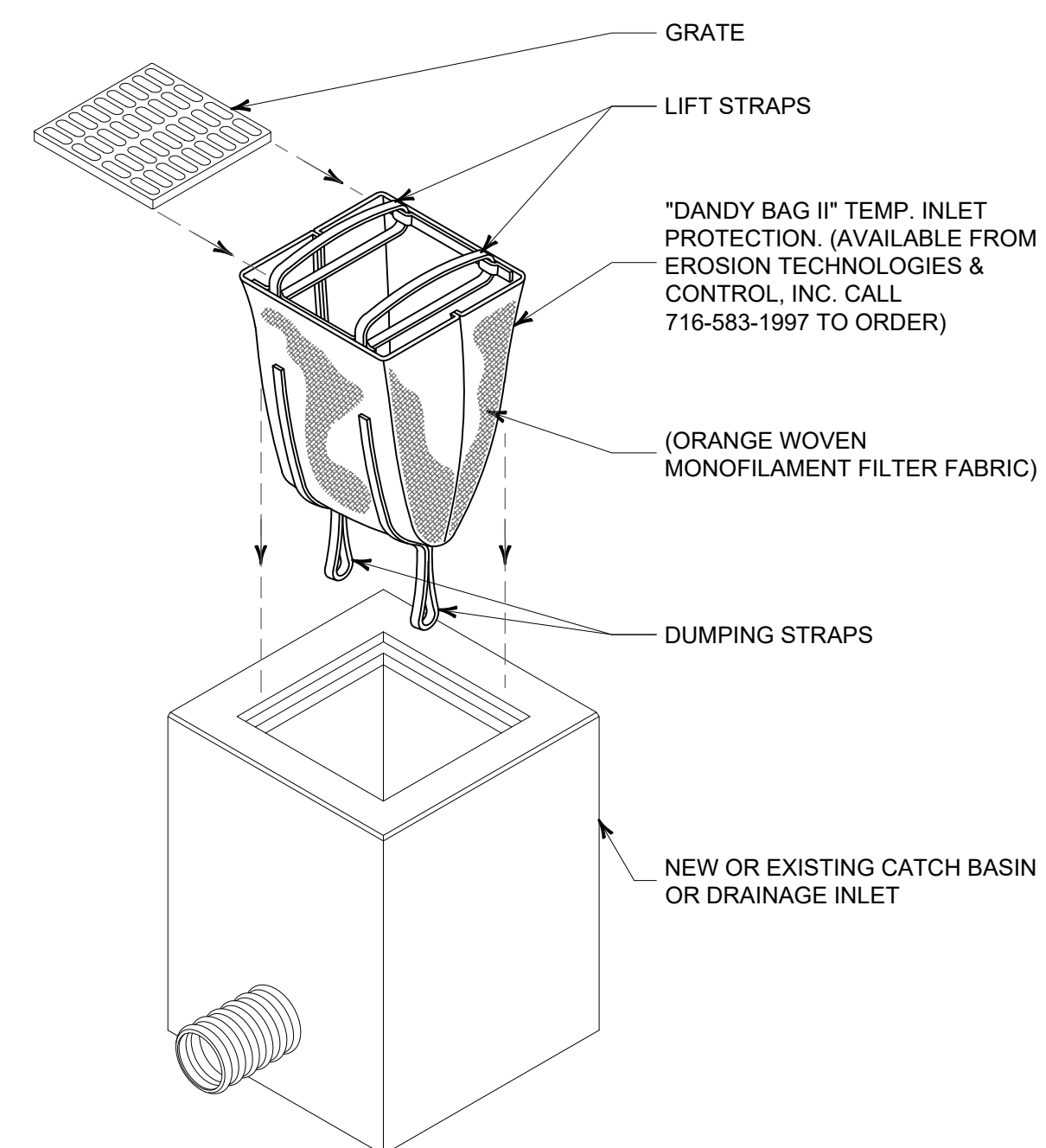
INSTALLATION INSTRUCTIONS:

- THE SILT FENCE SHALL BE INSTALLED BEFORE ANY MASS CLEARING OR GRADING BEGINS ON SITE. CLEAR ONLY VEGETATION REQUIRED TO INSTALL THE SILT FENCE.
- DIG A TRENCH APPROXIMATELY 6 INCHES DEEP AND 4 INCHES WIDE ALONG THE CENTERLINE OF THE FENCE LOCATIONS AS INDICATED ON THE EROSION CONTROL PLAN.
- DRIVE POSTS SECURELY AT LEAST 24 INCHES INTO THE GROUND ON THE DOWNSLOPE SIDE OF THE TRENCH. ADJUST SPACING SO THAT POSTS ARE PLACED AT LOW POINTS ALONG THE FENCE LINE IN ORDER TO PREVENT UNDERMINING AND UPLIFT.
- AT JOINTS OVERLAP AND FASTEN SILT FENCING.
- PLACE THE FABRIC IN THE TRENCH SO THAT THE BOTTOM FOLDS ACROSS THE BOTTOM OF THE TRENCH. PLACE BACKFILL IN THE TRENCH OVER THE FABRIC TO THE GROUND LINE AND COMPACT WITH A POWER TAMPER. EMBED FILTER FABRIC 6 INCHES MINIMUM INTO THE GROUND.

*** FOLLOW ANY FURTHER INSTALLATION INSTRUCTIONS GIVEN BY THE MANUFACTURER IF USING PREFABRICATED SILT FENCE. CONTACT SUPPLIER (716-433-5068 OR 1-800-895-5005) IF NECESSARY TO ASSIST IN INSTALLATION.

MAINTENANCE INSTRUCTIONS:

- INSPECT SEDIMENT FENCES PERIODICALLY AND AFTER EACH RAINFALL EVENT.
- THE SILT FENCE SHALL BE MAINTAINED BY THE CONTRACTOR AND REPAIRED OR REPLACED IF FABRIC IS TORN, FASTENERS HAVE LOOSENED, OR POSTS HAVE UN-ANCHORED FROM THE GROUND.
- BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. AVOID UNDERMINING OR DAMAGING SILT FENCE DURING SEDIMENT REMOVAL.
- REMOVE TEMPORARY SILT FENCING AFTER THE SITE IS SUFFICIENTLY STABILIZED BY MATURE VEGETATION AS CONFIRMED BY THE DESIGNATED EROSION CONTROL INSPECTOR. RE-GRADE, TOPSOIL, AND SEED FORMER SILT FENCE TRENCH AREA TO FINISHED GRADE AFTER SILT FENCE IS REMOVED.
- DISPOSE OF USED SILT FENCING IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS.



ISOMETRIC VIEW

TEMPORARY INLET PROTECTION DETAIL (A)

SCALE: 1/2" = 1'-0"

INSTALLATION INSTRUCTIONS:

- REMOVE THE GRATE FROM THE CATCH BASIN AND STAND ON END.
- MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II UNIT SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. THE GRATE SHOULD BE CRADLED BETWEEN THE UPPER AND LOWER STRAPS.
- HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE CATCH BASIN INLET FRAME, BEING CAREFUL THAT THE GRATE REMAINS IN PLACE AND BEING CAREFUL NOT TO DAMAGE THE DANDY BAG II UNIT.
- CONTACT MANUFACTURER, SUPPLIER, OR DESIGNATED EROSION CONTROL INSPECTOR IF NECESSARY TO ASSIST IN INSTALLATION.

MAINTENANCE INSTRUCTIONS:

- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE CATCH BASIN AFTER EACH STORM EVENT.
- AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II UNIT. IF THE UNIT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED.
- TO EMPTY THE UNIT, USING THE LIFTING STRAPS LIFT THE UNIT OUT OF THE INLET AND REMOVE THE GRATE. TRANSPORT THE UNIT TO AN APPROPRIATE LOCATION FOR REMOVAL OF THE CONTENTS. HOLDING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT UPSIDE DOWN, EMPTYING THE CONTENTS. REINSTALL UNIT AS PER INSTALLATION INSTRUCTIONS.
- DISPOSE OF DEBRIS AND SEDIMENTS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS. IF UNIT IS TORN OR DAMAGED DISPOSE OF UNIT AND/OR ABSORBENT IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS.

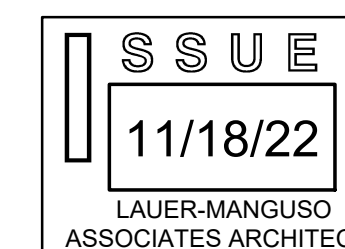
No.	Description	Date
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1	ISSUED: PLANNING BD. REVIEW	3-29-22
-	ISSUED: SEQR REVIEW	3-4-22
-	ISSUED: ECWA REVIEW	2-28-22
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-	ALT SITE LAYOUT FOR REVIEW	1-25-22
-	RE-ISSUED FOR REVIEW	1-19-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

EROSION CONTROL DETAILS



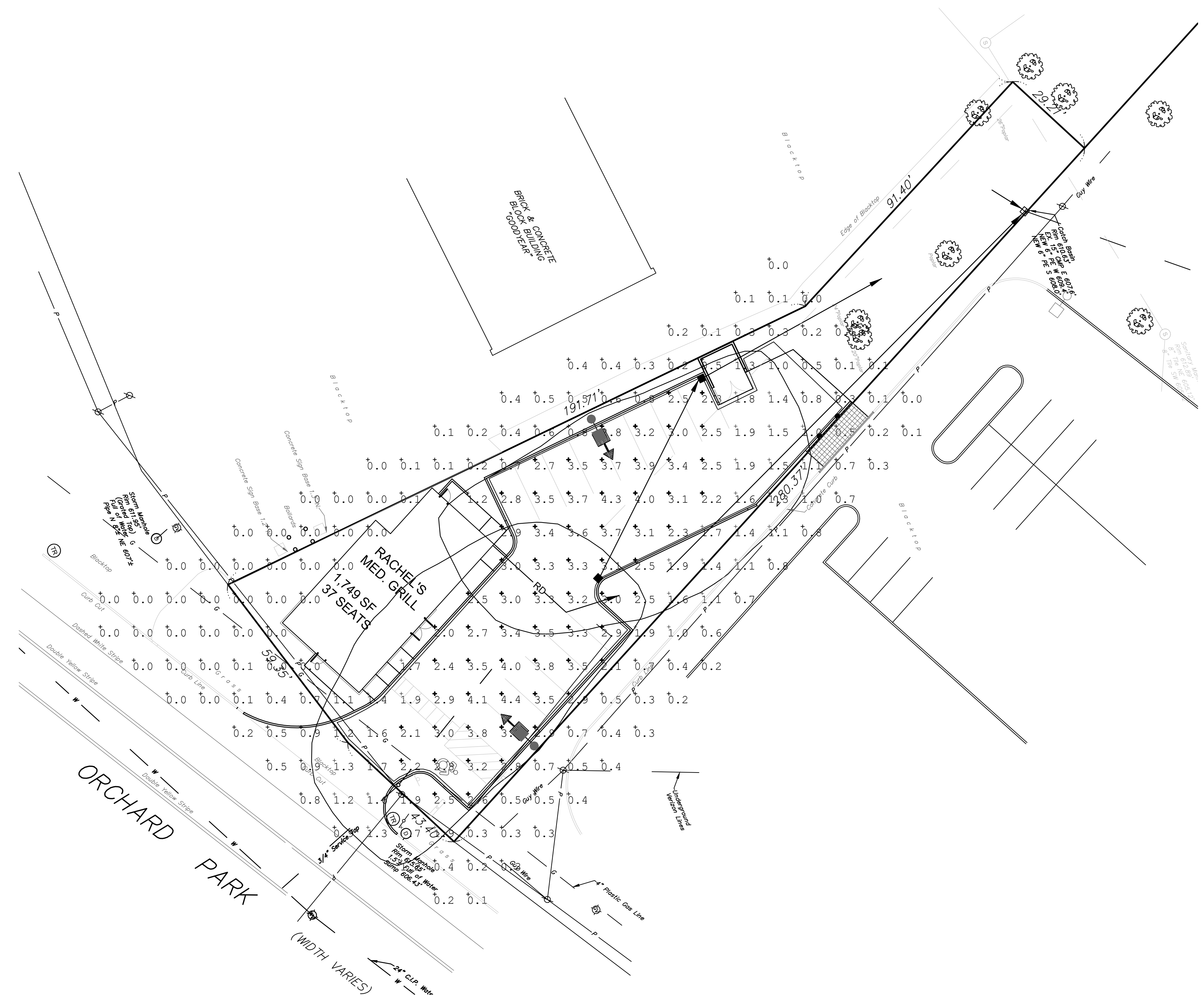
LAUER-MANGUSO & ASSOCIATES ARCHITECTS
4080 Ridge Lea Road
Buffalo, N.Y. 14228
(716) 837-0833

Date: 5/3/2021
Drawn By: RJB
Checked By: JAM
Job Number: 21034

Drawing No.
C-5.1

REVISIONS

REV #	DATE	BY:
1	3/23/22	J.P.
2	5/20/22	J.P.



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
PARKING	Fc	2.87	4.4	0.8	3.59	5.50	10	10

Luminaire Schedule								
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts		
	2	A	17296	0.950	WLS-CLA-N-25L-T3-S215-SLW 25' MOUNTING HEIGHT	167		

**RACHEL'S GRILL
WEST SENECA, NY**

WLS LIGHTING
a WLS company

6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WLSLIGHTING.COM

WLS-13973

DATE -3/16/22

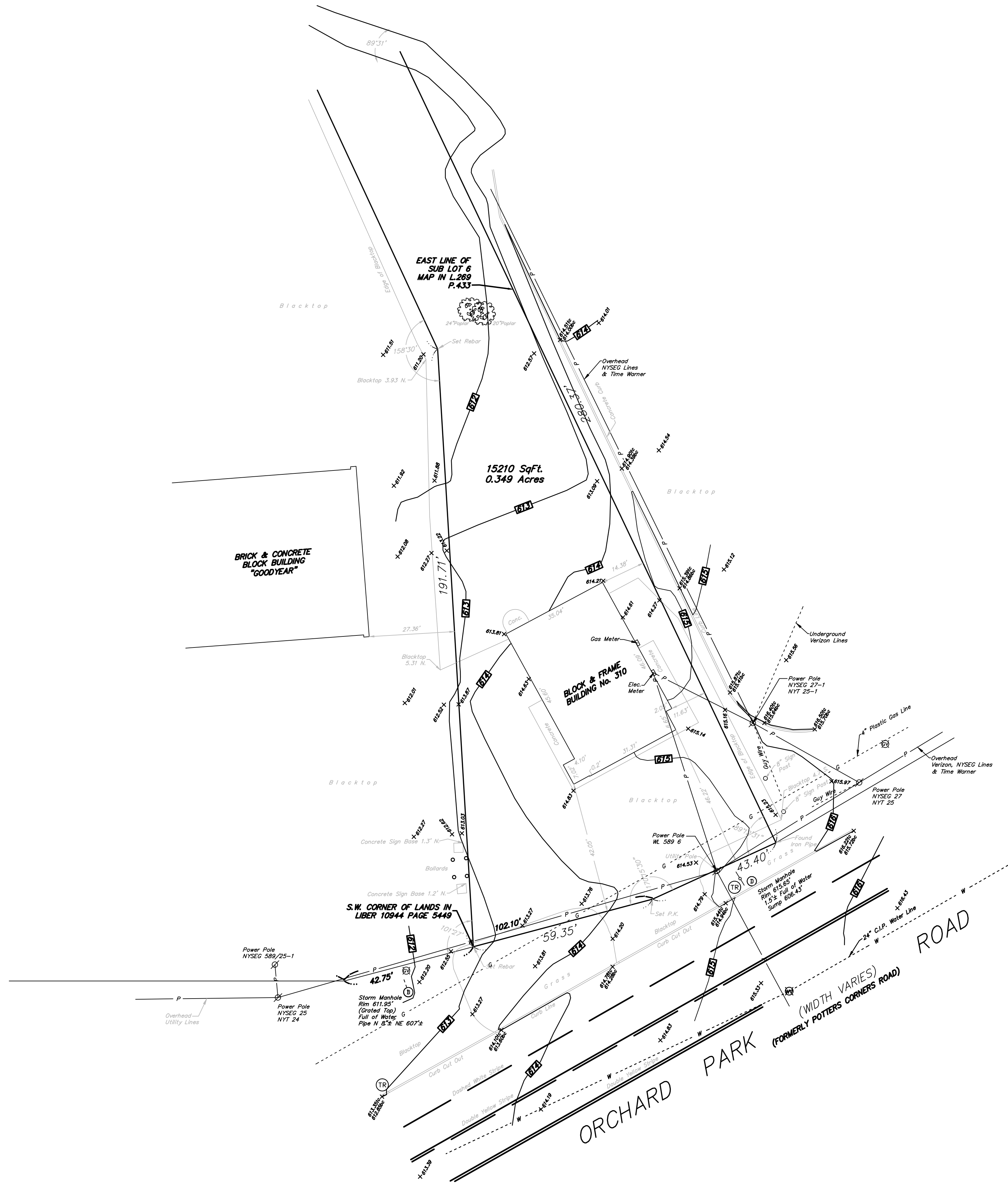
SCALE: 1"=20'

800-633-8711

PM:KEN

BY: J.P.

SHEET 1 OF 1



UTILITIES

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

Note: Underground Utility Information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.


- | | | |
|---|--|--|
| National Fuel
Attn: Ed Kulpa
(716) 857-7000 | Spectrum Cable
Attn: Chris Smith
(800) 262-8600 | Verizon
Attn: Anne Baglio
(716) 840-8748 |
| Erie County Water Dept.
Attn: Daniel Walkowiak
(716) 684-1510 | N.Y.S. Electric & Gas
Attn: Sam Cappaglia
(716) 651-5256 | National Grid
Attn: Eric Wright
(716) 857-4031 |

ELEVATION DATUM

ELEVATION ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM: NAD83 (2011) 2010.0 DATUM

AMEND: 1-12-22
ADDED UNDERGROUND UTILITIES

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: LIBER 10944 PAGE 5449
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.

 JOSEPH C. DELLES NYS REG. NO. 056077	COPYRIGHT 2021 BY: Millard, MacKay & Delles LAND SURVEYORS, LLP 150 AERO DRIVE BUFFALO, NEW YORK 14225 PHONE (716) 631-5140 ~ FAX 631-3811	AMEND: "A" SURVEY DATE: 9-16-21 DRAWING DATE: 10-8-21 SCALE: 1" = 20' "ALL RIGHTS RESERVED"
	BOUNDARY & TOPOGRAPHIC SURVEY PART OF SUBLLOT 6 ~ PER MAP FILED IN LIBER 269 OF DEEDS PAGE 433 PART OF LOT 282 SECTION 10 RANGE 7 OF THE Buffalo Creek Reservation SURVEY ~ Erie COUNTY, N.Y. SURVEY OF: 310 Orchard Park Road, Town of West Seneca	

PROVIDE TRUSS IDENTIFICATION SIGNAGE IN COMPLIANCE WITH 19 NYCRR PART 1264. SIGN TO BE LOCATED AT THE EXTERIOR OF THE BUILDING AT THE ENTRANCE DOOR, SIDELIGHT OR FACE OF BUILDING. NOT MORE THAN 12" HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42" (OR MORE THAN 60") ABOVE THE ADJOINING WALKING SURFACE. 6" DIAMETER SIGNAGE TO IDENTIFY TYPE "IB" CONSTRUCTION AND INDICATE THAT THE STRUCTURAL COMPONENT AS "R". 2" MIN. HIGH ROMAN ALPHANUMERIC LETTERS. (TYP. AT ALL EXTERIOR DOORS)

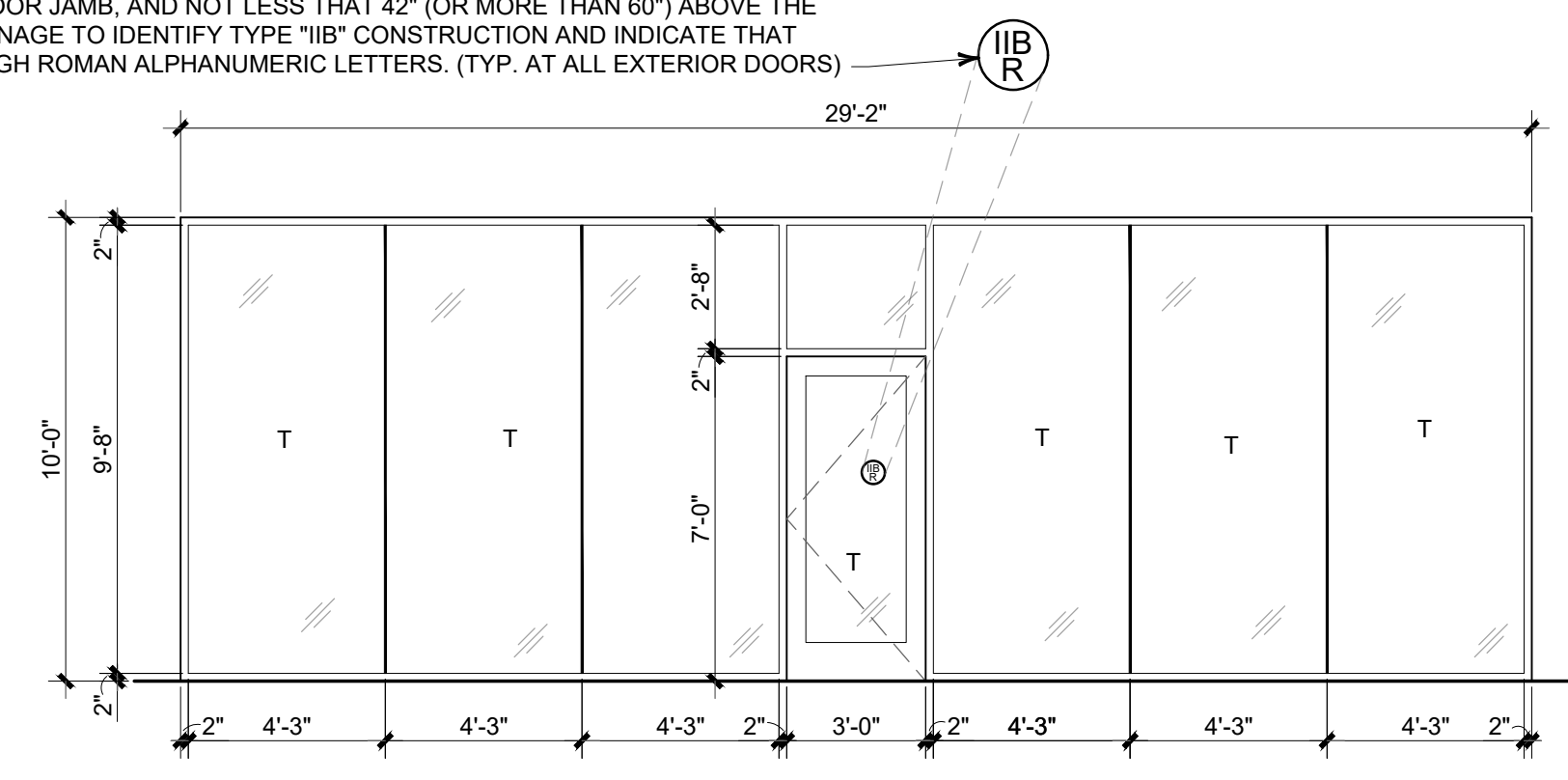
DOOR:
 SIZE: 3'-0" x 7'-0" MEDIUM STILE
 MATERIAL: ALUMINUM & GLASS
 FINISH: REFER TO ELEVATIONS

FRAME:
 MATERIAL: ALUMINUM
 FINISH: REFER TO ELEVATIONS

HARDWARE:
 PROVIDE & INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE & PROPER INSTALLATION INCLUDING, BUT NOT LIMITED TO, CONTINUOUS FULL MORTISE HINGE, PANIC HARDWARE, STOPS, SWEEPS, THRESHOLDS, PULL & PUSH BARS, CLOSERS, LOCKSET AND ALL REQUIRED ACCESSORIES
 FINISH: REFER TO ELEVATIONS

NOTE: VERIFY ALL OPENING DIMENSIONS PRIOR TO ORDERING & CONSTRUCTION, TYP.

T = TEMPERED



STOREFRONT ELEVATION

SCALE: 1/4"=1'-0"

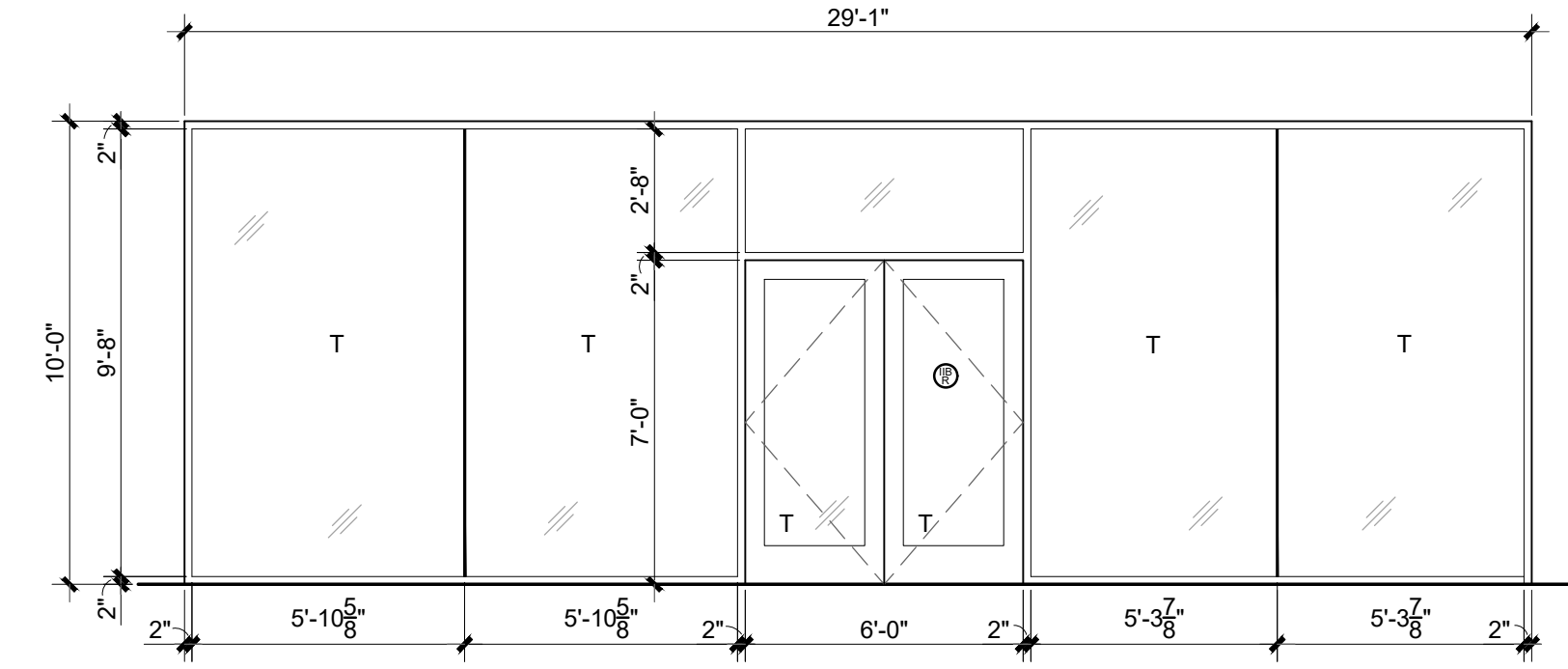
DOOR:
 SIZE: PAIR 3'-0" x 7'-0" MEDIUM STILE
 MATERIAL: ALUMINUM & GLASS
 FINISH: REFER TO ELEVATIONS

FRAME:
 MATERIAL: ALUMINUM
 FINISH: REFER TO ELEVATIONS

HARDWARE:
 PROVIDE & INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE & PROPER INSTALLATION INCLUDING, BUT NOT LIMITED TO, CONTINUOUS FULL MORTISE HINGE, PANIC HARDWARE, STOPS, SWEEPS, THRESHOLDS, PULL & PUSH BARS, CLOSERS, LOCKSET AND ALL REQUIRED ACCESSORIES
 FINISH: REFER TO ELEVATIONS

NOTE: VERIFY ALL OPENING DIMENSIONS PRIOR TO ORDERING & CONSTRUCTION, TYP.

T = TEMPERED



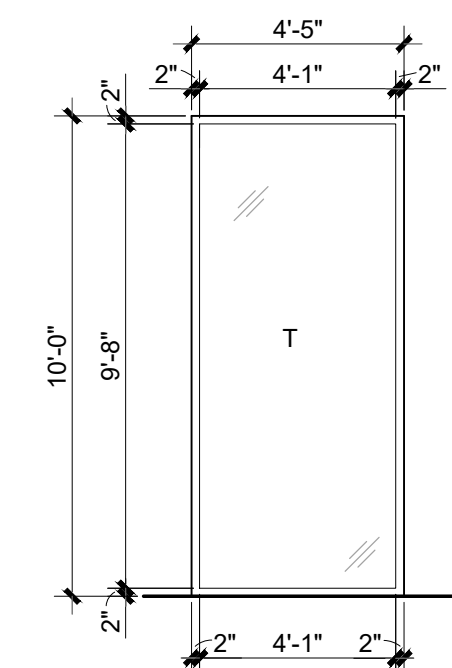
STOREFRONT ELEVATION

SCALE: 1/4"=1'-0"

FRAME:
 MATERIAL: ALUMINUM
 FINISH: REFER TO ELEVATIONS

NOTE: VERIFY ALL OPENING DIMENSIONS PRIOR TO ORDERING & CONSTRUCTION, TYP.

T = TEMPERED



STOREFRONT ELEVATION

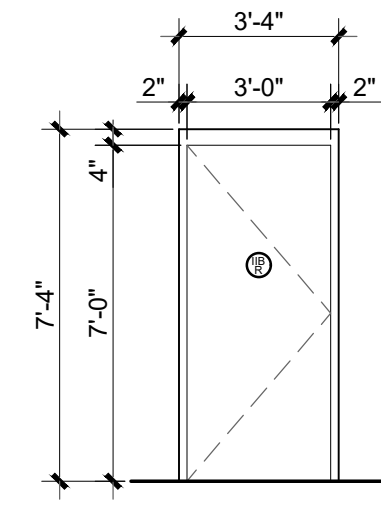
SCALE: 1/4"=1'-0"

DOOR:
 SIZE: 3'-0" x 7'-0"
 MATERIAL: STEEL INSULATED
 FINISH: PAINTED, REFER TO ELEVATIONS

FRAME:
 MATERIAL: STEEL
 FINISH: PAINTED, REFER TO ELEVATIONS

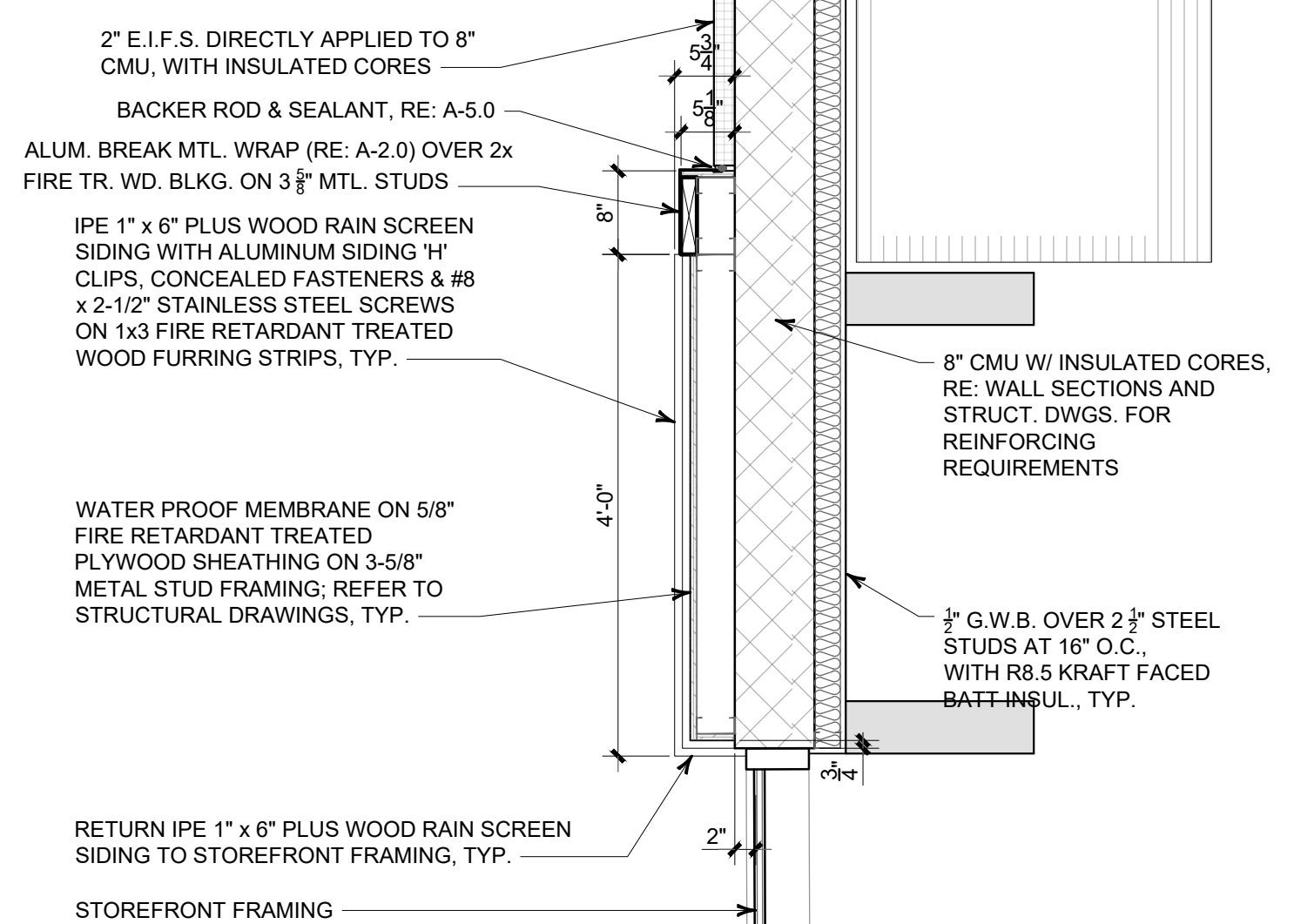
HARDWARE:
 PROVIDE & INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE & PROPER INSTALLATION INCLUDING, BUT NOT LIMITED TO, CONTINUOUS FULL MORTISE HINGE, PANIC HARDWARE, STOPS, SWEEPS, THRESHOLDS, PULL & PUSH BARS, CLOSERS, LOCKSET, KICKPLATE AND ALL REQUIRED ACCESSORIES
 FINISH: REFER TO ELEVATIONS

NOTE: VERIFY ALL OPENING DIMENSIONS PRIOR TO ORDERING & CONSTRUCTION, TYP.



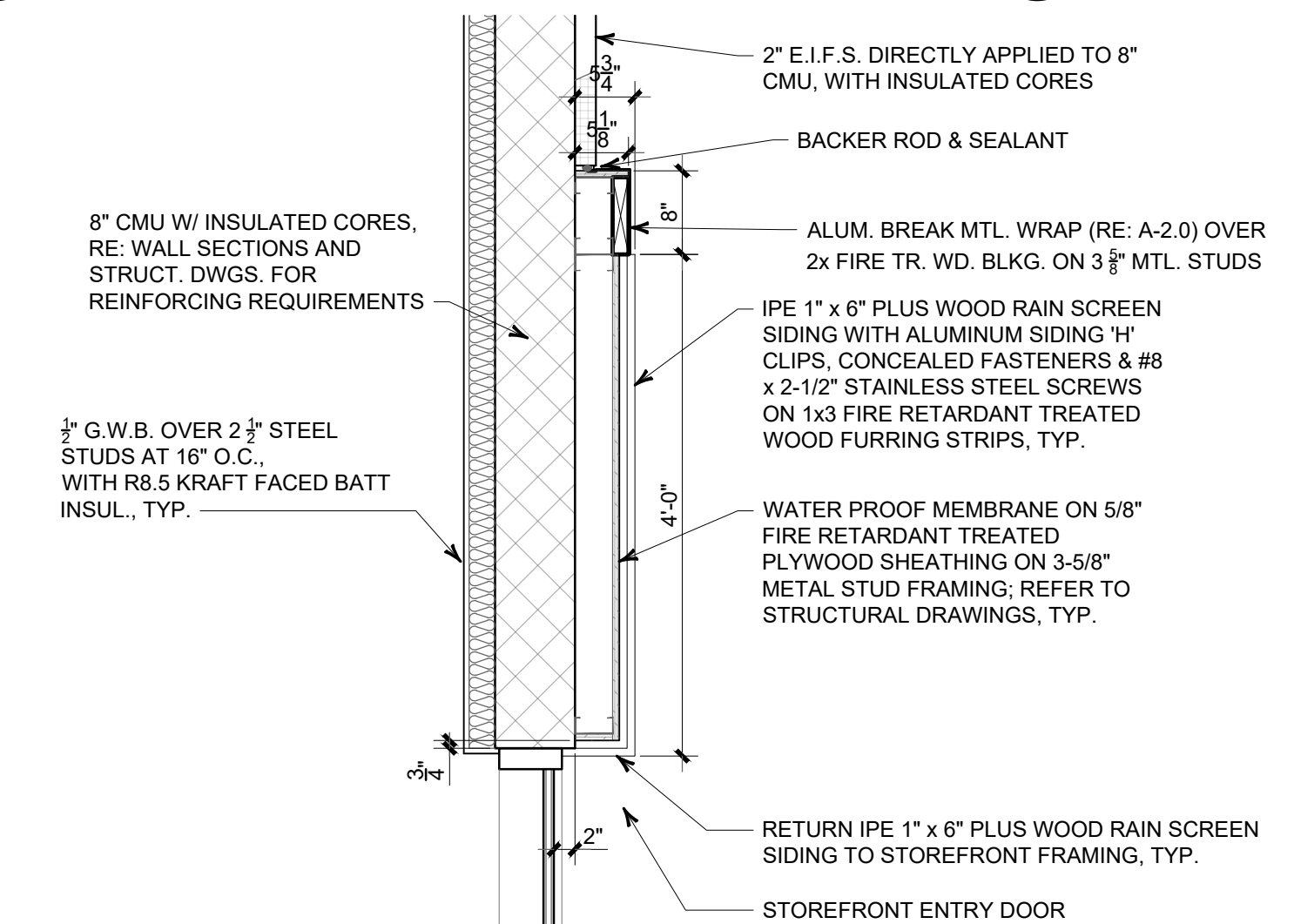
EXTERIOR DOOR & FRAME

SCALE: 1/4"=1'-0"



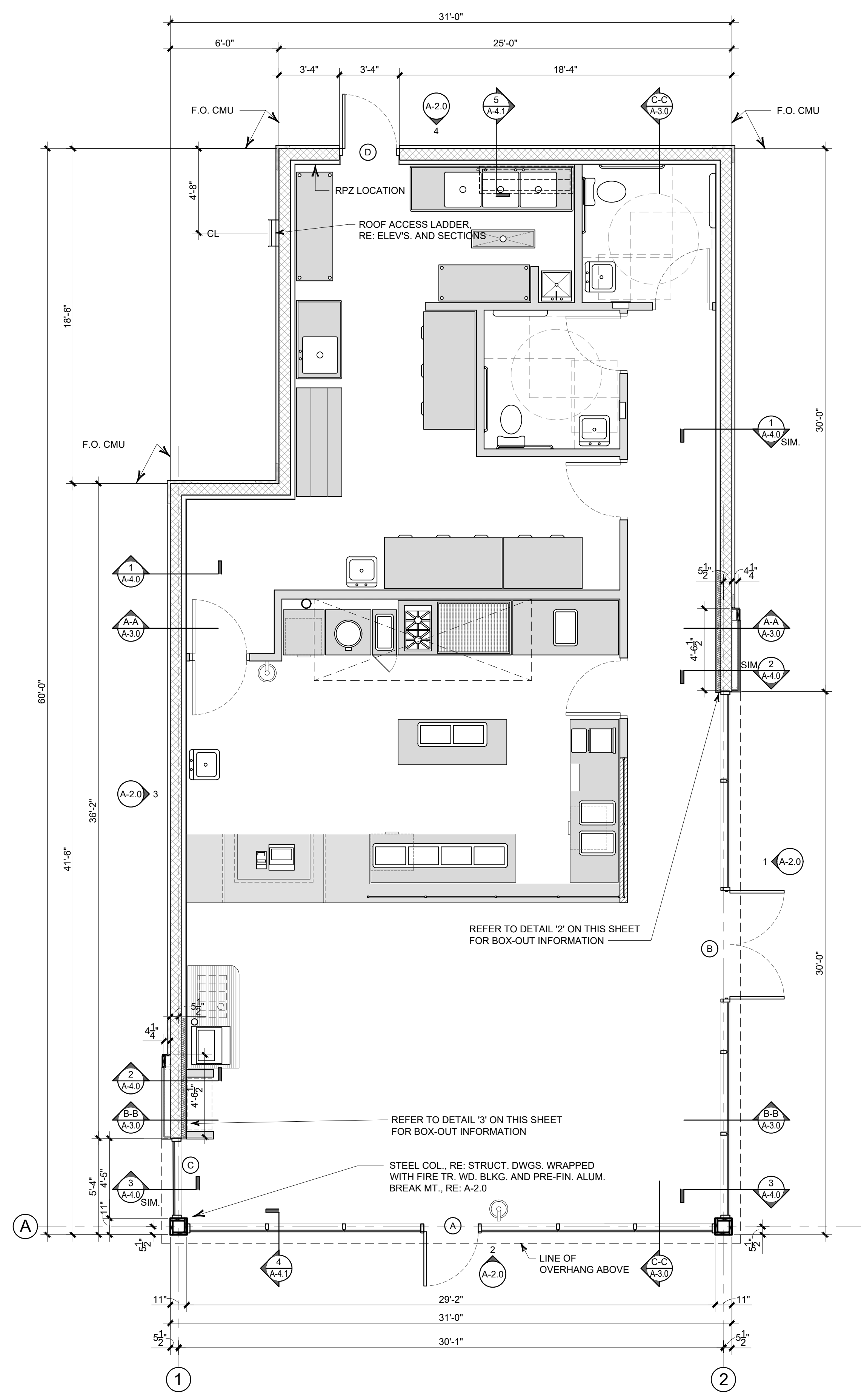
PLAN DETAIL

SCALE: 3/4"=1'-0"



PLAN DETAIL

SCALE: 3/4"=1'-0"



FLOOR PLAN

SCALE: 1/4"=1'-0"

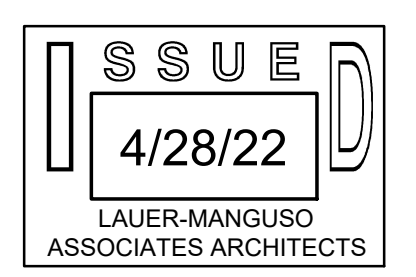
No.	Description	Date
1	KEYBANK OPTION REVIEW	4-28-22
-	ISSUED FOR SEQUR REVIEW	3-4-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

REVISIONS		
No.	Description	Date
1	KEYBANK OPTION REVIEW	4-28-22
-	ISSUED FOR SEQUR REVIEW	3-4-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

RACHEL'S GRILL
 310 ORCHARD PARK ROAD
 WEST SENECA, NY 14224

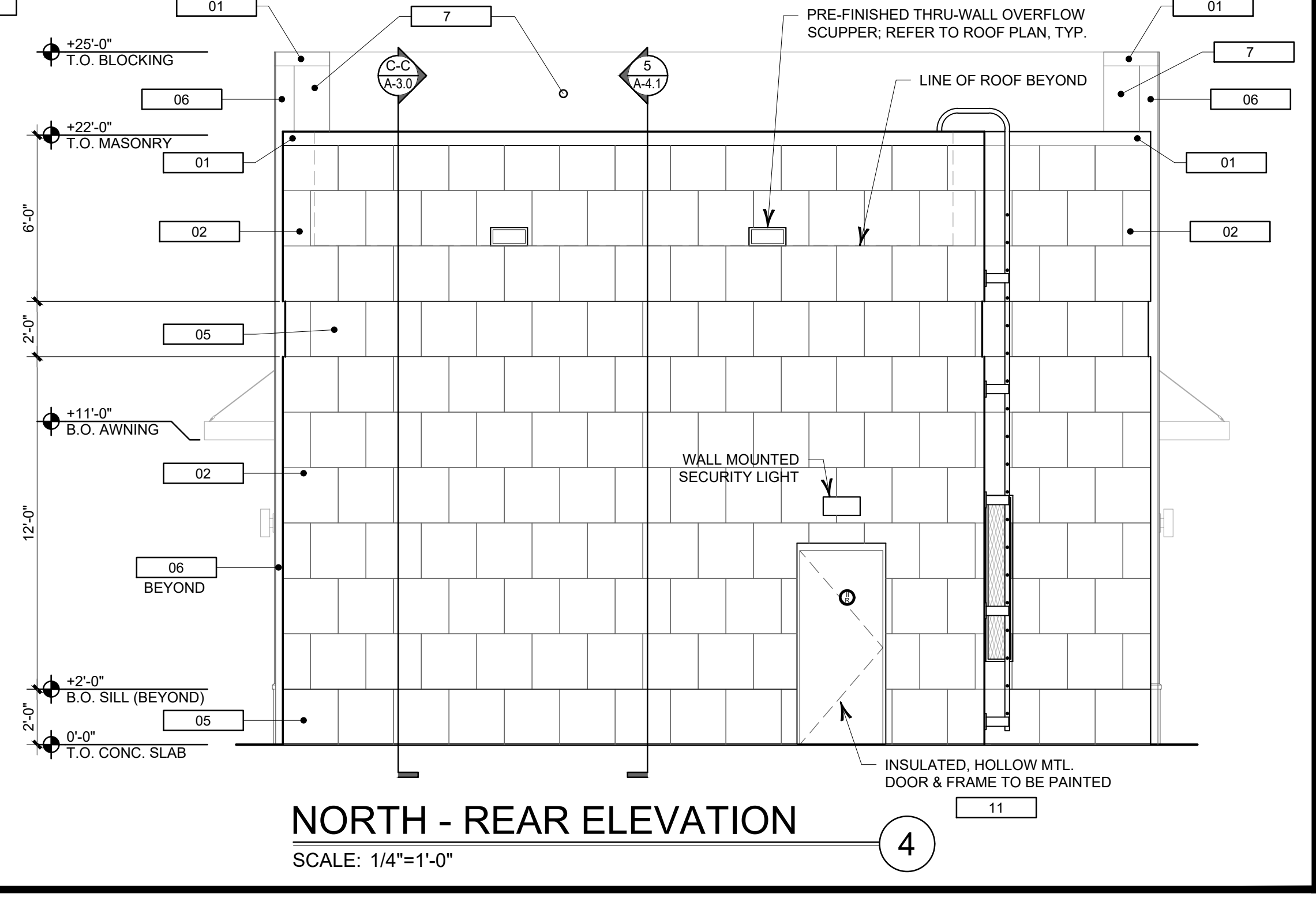
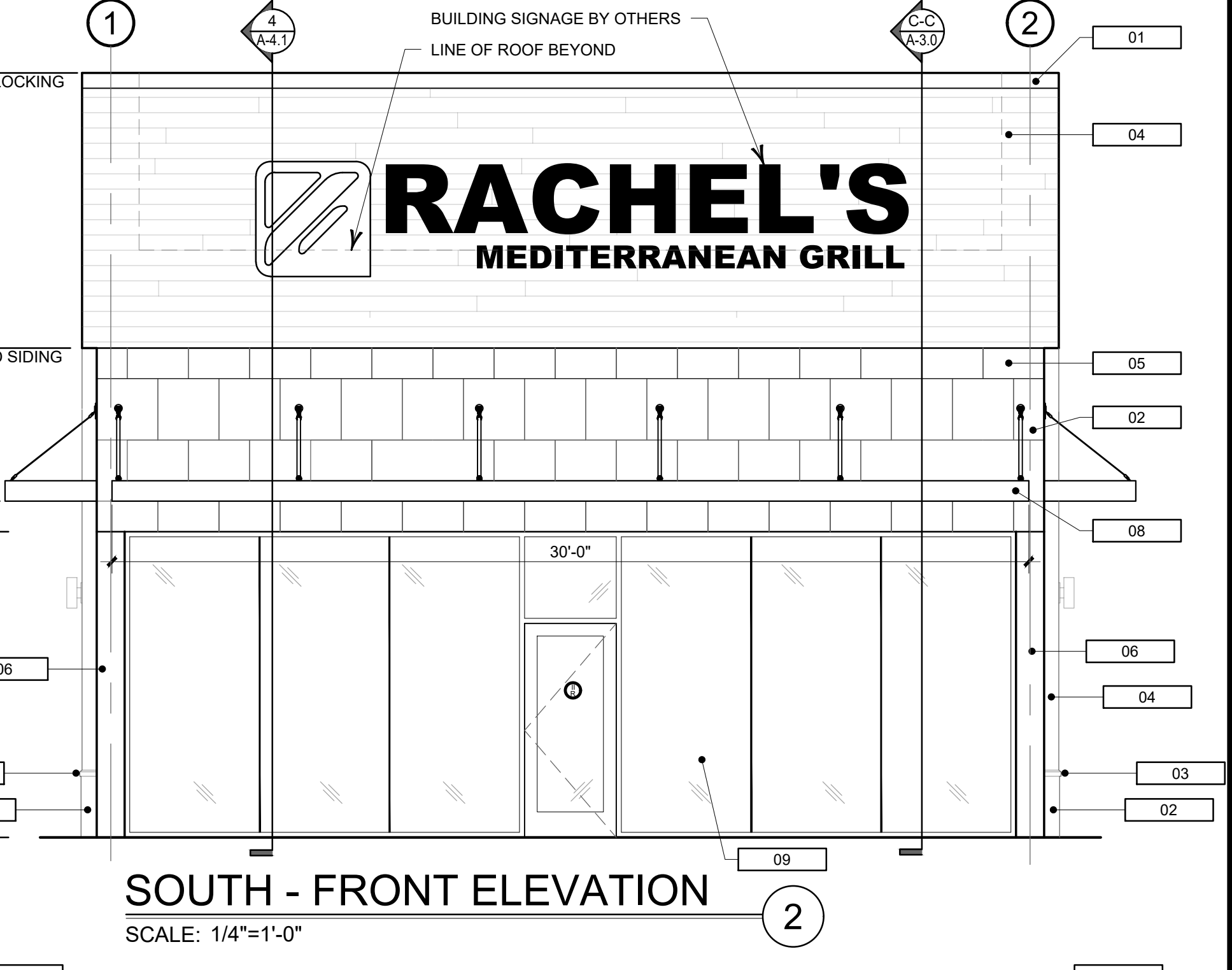
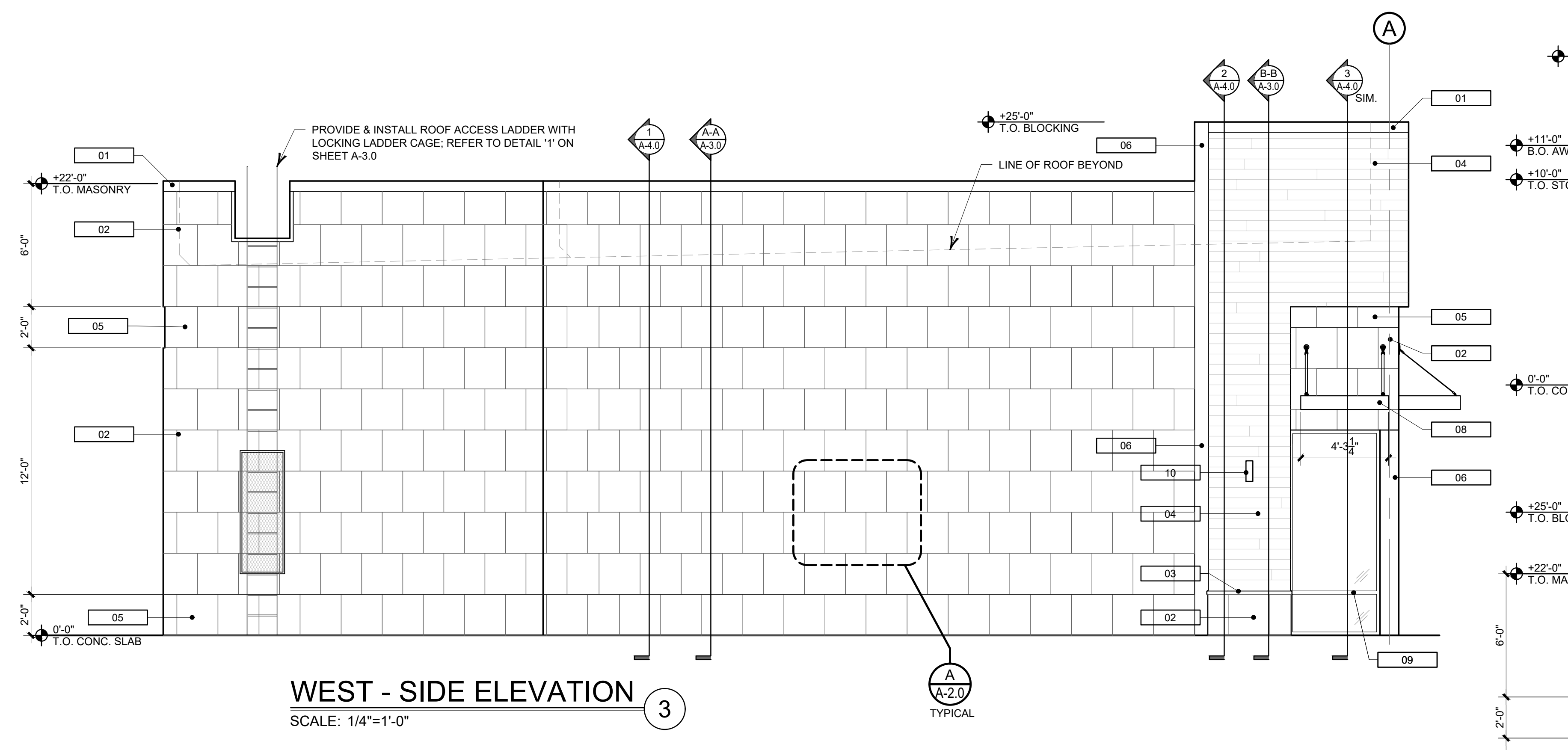
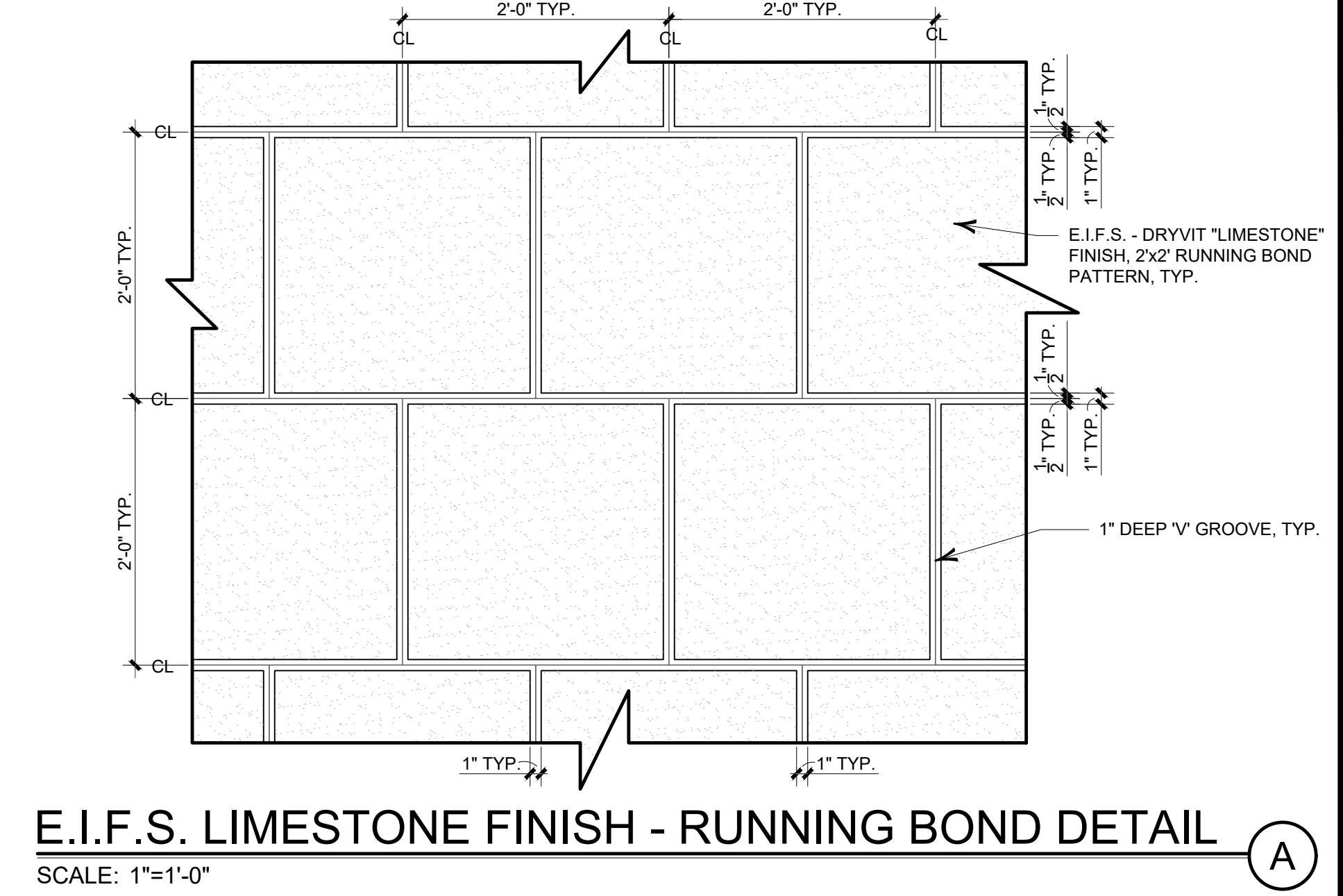
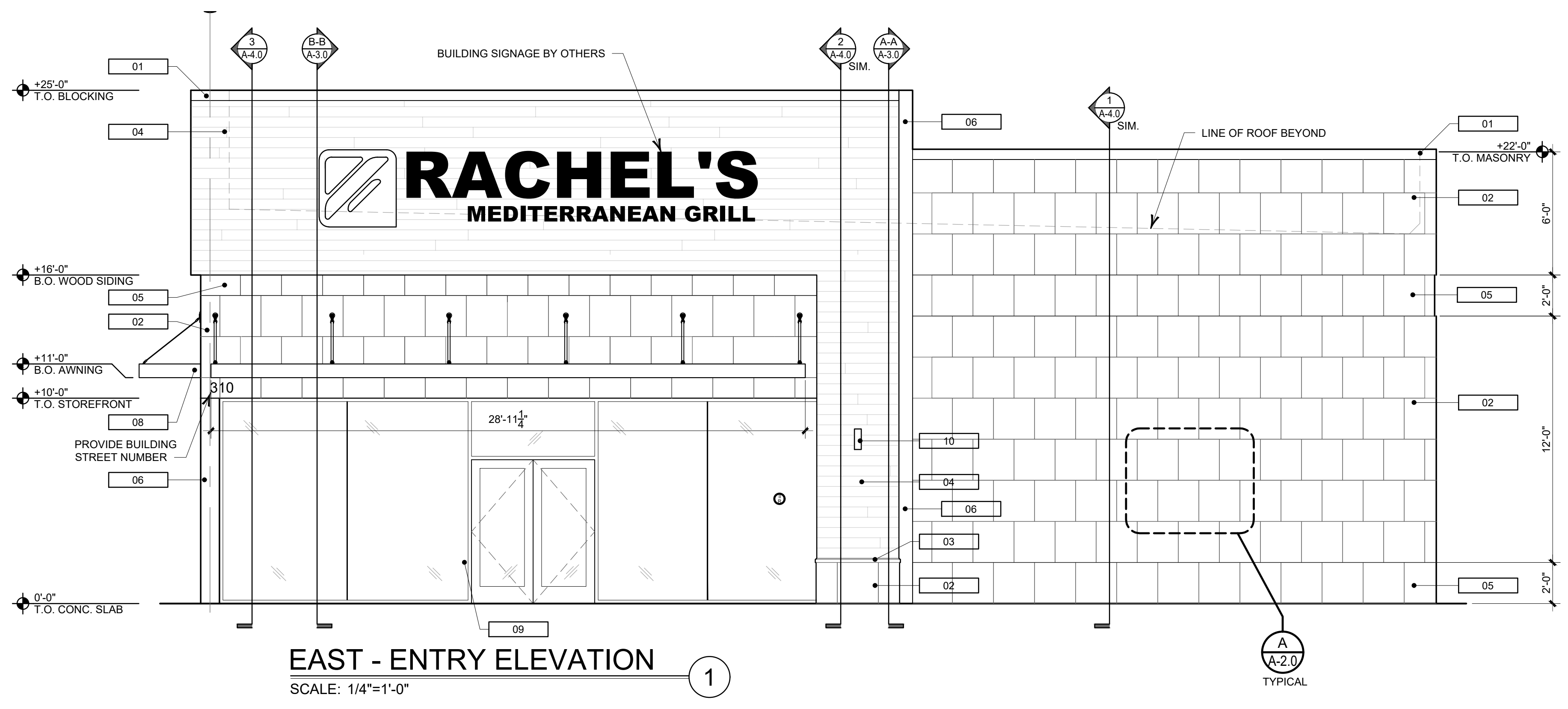
RACHEL'S MEDITERRANEAN GRILL
 285 DELAWARE AVE., BUFFALO, NY

FLOOR PLAN



LAUER-MANGUSO & ASSOCIATES ARCHITECTS
 4080 Ridge Lea Road
 Buffalo, N.Y. 14228
 (716) 837-0833

Date: 11/17/2021 Drawing No. A-1.0
 Drawn By: JAM
 Checked By: JAM
 Job Number: 21034



EXTERIOR FINISH SCHEDULE			
NUMBER	MANUFACTURER	COLOR / FINISH	DESCRIPTION
01	ATAS	#02 BLACK	.032 PRE-FINISHED ALUMINUM COPING
02	E.I.F.S. - DRYVIT	#102 BRITE WHITE	LIMESTONE FINISH 24x24 "V" GROOVE RUNNING BOND PATTERN
03	E.I.F.S. - DRYVIT	#102 BRITE WHITE	SILL - LIMESTONE FINISH
04			GARAPA WOOD SIDING - BRAZILIAN WOOD DEPOT
05	E.I.F.S. - DRYVIT	#715 LICORICE	LIMESTONE FINISH 24x24 "V" GROOVE RUNNING BOND PATTERN
06	ATAS	#02 BLACK	.040 BREAK MTL. WRAP
07		EPDM ROOF MEMBRANE	RE: ROOF PLAN
08	MAPES CANOPIES	BLACK (KYNAR)	METAL CANOPY SYSTEM; STYLE: SUPERSHADE
09	KAWNEER	#29 BLACK	1620 SSG CURTAIN WALL SYSTEM w/1" INSULATED GLAZING AND 3 3/4" DEEP HEAVY VERTICAL MULLION #178024
10	MFR.: VOLI (AURORA) LIGHTING	SIZE: 14"x5"Wx5"D, COLOR: BLACK,	EXTERIOR SCONCE LIGHT FIXTURE (UP/DOWN) SKU: 9635-20 WITH SP LIGHT
11	MFR.: SHERWIN WILLIAMS	SW 7014 'EIDER WHITE'	INSULATED, HOLLOW MTL. DOOR, PAINTED

- GENERAL ELEVATION NOTES:**
- ELEVATION 0'-0" FOR REFERENCE ONLY. VERIFY ALL FINAL FINISH GRADES WITH THE LATEST CIVIL DRAWINGS
 - COLOR ELEVATIONS ARE AVAILABLE FOR REFERENCE
 - PROVIDE MASONRY CONTROL AND EXPANSION JOINTS AS INDICATED ON STRUCTURAL DRAWINGS, TYP.

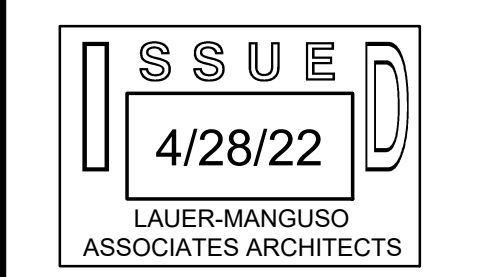
No.	Description	Date
1	KEYBANK OPTION REVIEW	4-28-22
-	ISSUED FOR SEQUR REVIEW	3-4-22
-	ISSUED FOR CLIENT REVIEW	8-14-21

△ - REVISIONS

RACHEL'S GRILL
310 ORCHARD PARK ROAD
WEST SENECA, NY 14224

RACHEL'S MEDITERRANEAN GRILL
285 DELAWARE AVE., BUFFALO, NY

EXTERIOR ELEVATIONS



Date: 11/16/2021
 Drawn By: CJP
 Checked By: JAM
 Job Number: 21034

Drawing No. **A-2.0**