

February 18, 2022

Town of West Seneca Planning Board  
c/o Jeffrey Schieber  
Code Enforcement Officer  
1250 Union Road, Room 210  
West Seneca, NY 14224

RE: Burger King (1997, 2003, 2007 Ridge Road) – Planning Board submittal

Dear Members of the Planning Board,

On behalf of our Client, JSC Management Group, LLC, we are enclosing revised plans and information as well as responses to the Town Engineer comments for the above-referenced property, and would ask that we be placed on the next Planning Board meeting for final Site Plan and Subdivision approval. We are submitting hard copies of the following items for your review and consideration:

- Letter of Intent
- Site Plans including property survey (5 copies)
- Engineer's Report (5 copies)

Please find below the Town Engineer comments (*italics*) and our corresponding responses (**bold**).

1. *A cross access agreement must be provided for access to and from the Wendy's property.*  
**A copy of the cross access agreement is included with this submittal.**
2. *Traffic impacts will need to be assessed.*  
**A Traffic Impact Assessment was submitted electronically on 1/26/22 to the Town and County for review. Per discussions with the County on 2/18/22, they had not finalized their review or corresponding letter.**
3. *Review and approval for the proposed access on Ridge Road will be required from the Erie County Department of Public Works (ECDPW).*  
**Awknowledged. Per discussions with the County on 2/18/22, they had not finalized their review or corresponding letter.**
4. *The ECDPW will also need to review and approve any tie-ins to their drainage system. They may require zero net increase in runoff in order to connect.*  
**Acknowledged. Per discussions with the County on 2/18/22, they had not finalized their review or corresponding letter.**
5. *The proposed drainage design could not be properly assessed as several pipe inverts, lengths, sizes and slope were not provided. Pipe sizing calculations must also be provided.*

#### Headquarters

615 Fishers Run, Victor, NY 14564  
phone 585.742.2222 • fax 585.924.4914  
web [www.apd.com](http://www.apd.com) • email [info@apd.com](mailto:info@apd.com)

#### Office Locations

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380

***Pipe inverts, sizes, and slopes are provided on the revised grading and drainage plan. Pipe sizing is included in the Engineer's Report.***

6. *An engineering report including projected water usage and sewer flows must be provided for review.  
**An Engineer's Report is provided in the submittal.***
  
7. *A sewer mitigation fee will be required. The fee will be calculated based upon the projected sewer flows. We have previously submitted for planning board approval and are in the process of coordinating with the local utilities.  
**Acknowledged.***

As of the Town Board meeting on January 20, 2022, the properties have been rezoned to C-2 (S) Commercial. We are also scheduled to appear in front of the ZBA on February 23, 2022 for the required parking setback variance from Ridge Road, as this item was tabled at the January meeting. Since that time, the County has provided correspondence indicating that they have no objection to the requested setback.

We are requesting to be placed on the March 10, 2022 Planning Board agenda for Site Plan and Subdivision Approval. Should you have any comments, questions, or are in need of additional information, please feel free to contact me at (585) 742-2222.

Sincerely,

*Todd Markevicz*

Todd Markevicz  
Owner / Member



# COUNTY OF ERIE

**MARK C. POLONCARZ**

COUNTY EXECUTIVE

WILLIAM E. GEARY, JR.  
COMMISSIONER

DEPARTMENT OF PUBLIC WORKS  
RATH BUILDING 14<sup>TH</sup> FLOOR

TELEPHONE: 716.858.8300  
FAX: 716.858.8228

February 4, 2022

Amy M. Kobler, Town Clerk  
Town of West Seneca  
1250 Union Road  
West Seneca, NY 14224

Re: Zoning Variance  
1997, 2002 and 2007 Ridge Road (CR-137)  
Proposed Burger King  
(T) of West Seneca, County of Erie

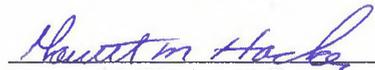
Dear Ms. Kobler:

This Department has received a preliminary site plan for a proposed Burger King and a zoning variance to allow a 3' off street variance (Town requires 10') for property located at 1997, 2002 and 2007 Ridge Road (CR-137) in the Town of West Seneca. Erie County Department of Public Works has no issue with the proposed setback variance.

Further review by this department will commence upon receipt design plans and a Stormwater Management Report designed in accordance with the New York State Stormwater Design Manual and local Town requirements.

Sincerely,

ERIE COUNTY DEPARTMENT OF PUBLIC WORKS

  
\_\_\_\_\_  
Garrett M. Hacker, P.E.  
Senior Civil Engineer

cc: Karen Hoak, Deputy Commissioner – Highways  
Darlene Svilokos, P.E., Director of Engineering  
Brian Rose, P.E., Supervisor of Engineering  
Gina Wilkolaski, P.E., Traffic Safety Engineer  
Michael Pasnik, Senior Highway Maintenance Engineer  
File: CR-137



County Clerk's Recording Page

Return to:  
BOX 30

Party 1:  
FX NET LEASE HOLDINGS LLC

Party 2:

**Book Type: D Book: 11293 Page: 9881**  
Page Count: 9  
Doc Type: EASEMENT/RTWY  
Rec Date: 03/29/2016  
Rec Time: 10:53:09 AM  
Control #: 2016061298  
UserID: Diane  
Trans #: 16049671  
Document Sequence Number  
TT2015017385

**Recording Fees:**

RECORDING	\$65.00
COE CO \$1 RET	\$1.00
COE STATE \$14.25 GEN	\$14.25
COE STATE \$4.75 RM	\$4.75
TP584	\$10.00

**Consideration Amount: 1.00**

BASIC MT	\$0.00
SONYMA MT	\$0.00
ADDL MT/NFTA	\$0.00
SP MT/M-RAIL	\$0.00
NY STATE TT	\$0.00
ROAD FUND TT	\$0.00

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**Total: \$95.00**

STATE OF NEW YORK  
ERIE COUNTY CLERK'S OFFICE

WARNING – THIS SHEET CONSTITUTES THE CLERK'S ENDORSEMENT REQUIRED BY SECTION 319&316-a (5) OF THE REAL PROPERTY LAW OF THE STATE OF NEW YORK. DO NOT DETACH. THIS IS NOT A BILL.

Christopher L. Jacobs  
County Clerk

**DECLARATION OF EASEMENT**  
**Store #817 – 2021 Ridge Road, West Seneca, NY (Wendy’s #3872)**

THIS DECLARATION OF EASEMENT (the “Declaration”) is made and entered into this 11<sup>th</sup> day of March, 2016, by FX NET LEASE HOLDINGS LLC and GLR HOLDINGS, LLC (collectively “Declarant”) (individually “Owner”).

**RECITALS**

- A. FX Net Lease Holdings LLC is the owner of that certain real property situate in the Town of West Seneca, County of Erie, State of New York, known as 2021 Ridge Road, having a tax parcel number of 143.06-1-14.1, GLR Holdings, LLC is the owner of that certain real property situate in the Town of West Seneca, County of Erie, State of New York, known as 705 Orchard Park Road having a tax parcel number of 143.06-1-16 and 2007 Ridge Road having a tax parcel number of 143.06-1-13, all as more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (“Premises”).
- B. Declarant desires to impose certain easements upon the Lots, the present and future owners and occupants thereof, on the terms and conditions hereinafter set forth.

NOW, THEREFORE, in consideration of the above premises and of the covenants herein contained, the Declarant does hereby declare that the Lots and all present and future owners and occupants of the Lots shall be and hereby are subject to the terms, covenants, easements, restrictions and conditions hereinafter set forth in this Declaration, so that said Lots shall be maintained, kept, sold and used in full compliance with and subject to this Declaration and, in connection therewith, Declarant covenants and agrees as follows:

**AGREEMENTS**

- 1. Definitions. For purposes hereof:
  - (a) The term “Owner” or “Owners” shall mean the Declarant and any and all successors or assigns of such persons as the owner or owners of fee simple title to all or any portion of the real property covered hereby, whether by sale, assignment, inheritance, operation of law, trustee's sale, foreclosure, or otherwise, but not including the holder of any lien or encumbrance on such real property.
  - (b) The term “Lot” or “Lots” shall mean each separately identified Lot of real property now, or in the future, constituting a part of Premises subjected to this Declaration as described on Exhibit “A”.
  - (c) The term “Permittees” shall mean the tenant(s), subtenant(s), or occupant(s) of a Lot, and the respective employees, agents, contractors, customers, invitees and licensees of (i) the Owner of such Lot, and/or (ii) such tenant(s) or occupant(s).

2. Easements.

2.1 Grant of Reciprocal Easements. Subject to any express conditions, limitations or reservations contained herein, Declarant hereby declares that the Premises and all future Lots, and all Owners and Permittees of the Lots, shall be benefited and burdened by the following reciprocal easements which are hereby imposed upon the Premises and Lots and all present and future Owner's and Permittees of the Lots:

- (a) An easement for reasonable access, ingress and egress over all paved driveways, roadways and walkways as presently or hereafter constructed and for the passage of motor vehicles and pedestrians between all portions of the Premises intended for such purposes, and to and from all abutting streets or rights of way furnishing access to such Premises and parking only over parking spaces as presently or hereafter constructed;
- (b) An easement under and across those parts of the Premises for the installation, maintenance, repair and replacement of water mains, storm drains, sewers, water sprinkler system lines, telephone or electrical conduits or systems, cable, gas mains and other utility facilities necessary for the orderly development and operation of each building from time to time located within the Premises; provided that (i) the rights granted pursuant to such easements shall at all times be exercised in such a manner as not to unreasonably interfere materially with the normal operation of a Lot and the businesses conducted therein and (ii) the exact location of any utilities shall be subject to the reasonable approval of the Declarant.

2.2 Indemnification. Each owner having rights with respect to an easement granted hereunder shall indemnify and hold the Owner of the burdened Premises harmless from and against all claims, liabilities and expenses (including reasonable attorneys' fees) relating to accidents, injuries, loss, or damage of or to any person or property arising from the negligent, intentional or willful acts or omissions of such Owner, its contractors, employees, agents, or others acting on behalf of such Owner.

2.4 Reasonable Use of Easements. The easements herein above granted shall be used and enjoyed by each Owner and its Permittees in such a manner so as not to unreasonably interfere with, obstruct or delay the conduct and operations of the business of any other Owner or its Permittees at any time conducted on its Lot, including, without limitation, public access to and from said business and utilities to and from said business.

3. Maintenance.

3.1 General. Each Lot Owner shall maintain its own Lot at its sole cost and expense. Such maintenance is to include but is not limited to, snow removal, drainage/road repair and replacement, landscaping, and generally keep the location in clean and neat condition and shall take such measures as are necessary to control grass, weeds, blowing dust, dirt, litter or debris.

3.2 Utilities. Each Owner shall at all times during the term hereof construct, operate and maintain or cause to be constructed, operated and maintained, in good order, condition and repair, at its sole expense, any utility, or other installations, servicing its Lot or servicing any of the other Lots.

4. Taxes and Assessments.

Each Owner shall pay all taxes, assessments, or charges of any type levied or made by any governmental body or agency with respect to its Lot.

5. Irreparable Harm. In the event of a violation or threat thereof of any of the provisions of this Declaration, each Owner agrees that such violation or threat thereof shall cause the nondefaulting Owner and/or its Permittees to suffer irreparable harm and such nondefaulting Owner and its Permittees shall have no adequate remedy at law. As a result, in the event of a violation or threat thereof of any of the provisions of this Declaration, the nondefaulting Owner, in addition to all remedies available at law or otherwise under this Declaration, shall be entitled to injunctive or other equitable relief to enjoin a violation or threat thereof of this Declaration only after all applicable notice and cure periods.

6. Miscellaneous.

6.1 Attorneys' Fees. In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party after a final adjudication shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.

6.2 Amendment. Declarant agrees that the provisions of this Declaration may be modified or amended, in whole or in part, or terminated, only by the written consent of all record Owners of the Premises or Lots.

6.3 Consents. Wherever in this Declaration the consent or approval of an Owner or Declarant is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld, conditioned or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon. The consent of an Owner under this Declaration, to be effective, must be given, denied or conditioned expressly and in writing.

6.4 Covenants to Run with Land. It is intended that each of the easements, covenants, conditions, restrictions, rights and obligations set forth herein shall run with the land and create equitable servitudes in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

6.5 Grantee's Acceptance. The grantee of any Lot or any portion thereof, by acceptance of a deed conveying title thereto or the execution of a contract for the Purchase thereof, whether from an original party or from a subsequent owner of such Lot, shall accept such deed or contract upon and subject to each and all of the easements, covenants, conditions, restrictions and obligations contained herein. By such acceptance, any such grantee shall for himself and his successors, assigns, heirs, and personal representatives, covenant, consent, and agree to and with the other party, to keep, observe, comply with, and perform the obligations and agreements set forth herein with respect to the property so acquired by such grantee.

6.6 Notices. Notices or other communication hereunder shall be in writing and shall be sent certified or registered mail, return receipt requested, or by other national overnight courier company, or personal delivery. Notice shall be deemed given upon receipt or refusal to accept delivery. Each party may change from time to time their respective address for notice hereunder by like notice to the other party.

6.7 Governing Law. The laws of the State in which the Lots are located shall govern the interpretation, validity, performance, and enforcement of this Declaration. Any lawsuit must be venued in Erie County in the State of New York.

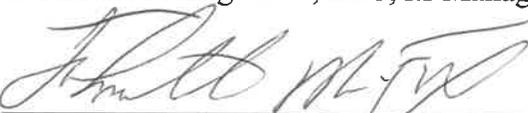
6.8 Bankruptcy. In the event of any bankruptcy affecting any Owner or occupant of any Lot, the parties agree that this Declaration shall, to the maximum extent permitted by law, be considered an agreement that runs with the land and that is not rejectable, in whole or in part, by the bankrupt person or entity.

6.9 Mortgage Subordination. Any mortgage or deed of trust affecting any portion of any Lot shall at all times be subject and subordinate to the terms of this Declaration, and any party foreclosing any such mortgage or deed of trust, or acquiring title by deed in lieu of foreclosure or trustee sale, shall acquire title subject to all the terms and conditions of this Declaration.

*[Signature on following page]*

IN WITNESS WHEREOF, Declarant has executed this Declaration as of the date first written above.

FX NET LEASE HOLDINGS LLC  
By: FV Real Estate Management, LLC, its Manager

By:   
Johnathan M. Fox, Manager

GLR HOLDINGS, LLC  
By: FV Real Estate Holdings, LP, its sole member

By: FV Real Estate Management, LLC,  
its general partner

By:   
Name: Johnathan M. Fox, Manager

STATE OF NEW YORK )  
COUNTY OF MONROE ) ss:

On the 11 day of March in the year 2016 before me, the undersigned, personally appeared **Johnathan M. Fox**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public  
DEBORAH K. CARPENTER  
Notary Public, State of New York  
No. 4966451  
Qualified in Monroe County  
Commission Expires May 7, 2018

STATE OF NEW YORK )  
COUNTY OF MONROE ) ss:

On the 11 day of March in the year 2016 before me, the undersigned, personally appeared **Johnathan M. Fox** personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public  
DEBORAH K. CARPENTER  
Notary Public, State of New York  
No. 4966451  
Qualified in Monroe County  
Commission Expires May 7, 2018

**LEGAL DESCRIPTION**  
**2021 RIDGE ROAD**  
**TAX PARCEL: 143.06-1-14.1**

ALL THAT TRACT OR PARCEL OF LAND situate in the Town of West Seneca, County of Erie and State of New York, being part of Lot No. 296, Township 10, Range 7 of the Buffalo Creek Indian Reservation and being more particularly described as follows:

BEGINNING at a point on the westerly line of Orchard Park Road (66.0 feet wide), said point being 170.30 feet northerly as measured from the south line of Lot No. 296 as measured along the westerly line of Orchard Park Road; thence westerly at an exterior angle of  $89^{\circ} 25'$ , a distance of 270.0 feet to a point; thence northerly at an interior angle of  $89^{\circ} 25'$ , a distance of 260 feet to a point in the southerly line of Ridge Road (80.00 feet wide); thence easterly along said southerly line at an exterior angle of  $89^{\circ} 25'$ , a distance of 120.0 feet to a point, said point also being a distance of 150.00 feet westerly from the intersection of the southerly line of Ridge Road and the westerly line of Orchard Park Road; thence southerly at an exterior angle of  $90^{\circ} 35'$ , a distance of 180.00 feet to a point; thence easterly at an exterior angle of  $89^{\circ} 25'$ , a distance of 150.00 feet to a point on the westerly line of Orchard Park Road; thence southerly and along said westerly line, a distance of 80.00 feet to the point and place of beginning.

EXCEPTING THEREFROM lands appropriated by Notice of Appropriation recorded in Liber 9935 of Deeds at page 362, as supplemented by Notice of Appropriation recorded in Liber 10084 of Deeds at page 176, being Map 54, Parcel 56.

**LEGAL DESCRIPTION**  
**705 ORCHARD PARK ROAD**  
**TAX PARCEL: 143.06-1-16**

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of West Seneca, County of Erie and State of New York, being part of Lot No. 296, Township 10, Range 7 of the Buffalo Creek Reservation, described as follows:

COMMENCING at a point in the southwesterly line of Orchard Park Road distant 135 feet southeasterly from its intersection with the southeasterly line of Ridge Road as measured along the southwesterly line of Orchard Park Road; thence southwesterly parallel to the southeasterly line of Ridge Road 150 feet; thence southeasterly parallel with the southwesterly line of Orchard Park Road 45 feet; thence northeasterly parallel to the southeasterly line of Ridge Road 150 feet to the southwesterly line of Orchard Park Road; thence northwesterly along said line of Orchard Park Road 45 feet to the place of beginning.

EXCEPTING THEREFROM those lands appropriated by the State of New York recorded in Erie County Clerk's Office in Liber 9757 of Deeds at page 419.

**LEGAL DESCRIPTION  
2007 RIDGE ROAD  
TAX PARCEL: 143.06-1-13**

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of West Seneca, County of Erie and State of New York, being part of Lot Number 296 Township 10 Range 7 of the Buffalo Creek Reservation, bounded and described as follows:

BEGINNING at a point in the southerly line of Ridge Road distant 270 feet westerly of the intersection of said line of Ridge Road with the westerly line of Orchard Park Road measured along said line of Ridge Road; thence westerly along said line of Ridge Road 40 feet; thence southerly and parallel with the Orchard Park Road 220.10 feet; thence easterly parallel with the southerly line of said lot No. 296, 40.71 feet; thence northerly parallel with said line of Orchard Park Road 228.10 feet to the southerly line of Ridge Road at the place of beginning.

# ENGINEER'S REPORT

for the proposed

## WATER USAGE AND SEWER FLOWS

# BURGER KING – WEST SENECA, NY

1997-2007 Ridge Road  
West Seneca, NY 14224  
Erie County, NY

Prepared for:

**JSC Management Group, LLC**  
PO Box 217  
Lyndonville, NY 14098

Prepared by:



615 Fishers Run, Victor, New York 14564

Phone: 585.742.2222 | Fax: 585.924.4914 | Website: [www.apd.com](http://www.apd.com) | Email: [info@apd.com](mailto:info@apd.com)

Original Date: February 18, 2022

Project No.: 21-0239

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APD Engineering & Architecture, PLLC

### Document Alteration

It is a violation of law for any person, unless acting under the direction of licensed Architect, Professional Engineer, Landscape Architect, or Land Surveyor to alter any item on this document in any way. Any licensee who alters this document is required by law to affix his or her seal and to add the notion "Altered By" followed by his or her signature and the specific description of the alteration or revision.

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APPENDIX B – STORM SEWER PIPE SIZING SPREADSHEET

APPENDIX C – RECORD PLANS

APPENDIX D – SURVEY

## **SITE INFORMATION**

The proposed Burger King restaurant to be constructed is located at 1997-2007 Ridge Road in the West Seneca, NY. The existing properties consist of a shared access drive to two houses with a two-car detached garage and shed on-site on 1997 & 2003 Ridge Road with 2007 Ridge Road as a vacant grass lot. The Burger King restaurant is proposed for the northern portions of the existing site located at 1997-2007 Ridge Road in West Seneca, NY. The overall site is relatively flat, the finish floor elevation of the proposed building is 633.00 feet. Research into FEMA floodplain information would indicate that there is no defined flood zone within the near vicinity of the store.

## **DOMESTIC WATER AND FIRE SERVICE**

Domestic water service will be supplied to the site by the Erie County Water Authority and Erie County Division of Sewer Management. The existing watermain that serves 1997-2007 Ridge Road is a 12" waterline located in Ridge Road. There are two (2) existing services for the both houses on site with 3/4" water services, which will be removed as part of this project. The proposed domestic water service will enter the building near the Southwest corner of the proposed building. Refer to the Site Plan set for additional information.

Water use within the facility will consist of potable water. Fixtures at the facility typically include water closets, lavatories, urinals, sinks, drinking fountains, mop basin, and hose bibs. The estimated peak flow demand for potable water is 54 GPM.

The reduced pressure zone (RPZ) backflow prevention device will be a 2" Watts Series LF909 RPZ. A water meter will be installed on the line before the RPZ and a reduced pressure valve will be installed after the RPZ. The RPZ will drain through a funnel and drain connecting to the wall of the mechanical room and to the building exterior. The RPZ and Meter will be located in the utility room at the Southwest corner of the proposed building.

## **HYDRANT TEST RESULTS AND CALCULATIONS**

A hydrant flow test was conducted by the Erie County Water Authority on November 5, 2019. This was performed on two fire hydrants located along Ridge Road to the north and west of the site.

Hydrant A, the gauge or residual hydrant, is located west of the site at 1879 Ridge Road in front of the Denny's restaurant. It is connected to a 12" waterline in Ridge Road and is located approximately 1,250-feet west of the proposed Burger King. Hydrant B, the flow hydrant, is located at 1976 Ridge Road adjacent to the Valu Auto Place. This hydrant is connected to the same 12" waterline as Hydrant A within Ridge Road and is located approximately 200-feet northwest of the site. Table I below summarizes the hydrant flow data obtained from the test. A copy of the Water Flow Test Information sheet is provided in Appendix B.

**Table I**

	At Test Hydrant (Hydrant #A)	At Flow Hydrant (Hydrant #B)
Residual Pressure	82 psi	
Static Pressure	88 psi	88 psi
Flow		2,326 gpm

Based on the hydrant flow test data provided in Appendix B, the existing water distribution system has sufficient capacity and water pressure to provide the proposed facility with adequate flows and pressures.

A separate backflow preventer application and supporting information will be submitted to Erie County in the near future, once the building plans are completed. As part of this submittal, we will include hydraulic calculations showing the anticipated pressure and required domestic flow at the building.

### **SANITARY SEWER**

The sanitary system has been designed in accordance with the Ten State Standards for Wastewater Facilities. The existing sewer is an 8" PVC pipe gravity main along the south side of Ridge Road. There appear to be (2) existing 4" laterals for the houses based on recent Town sewer monitoring.

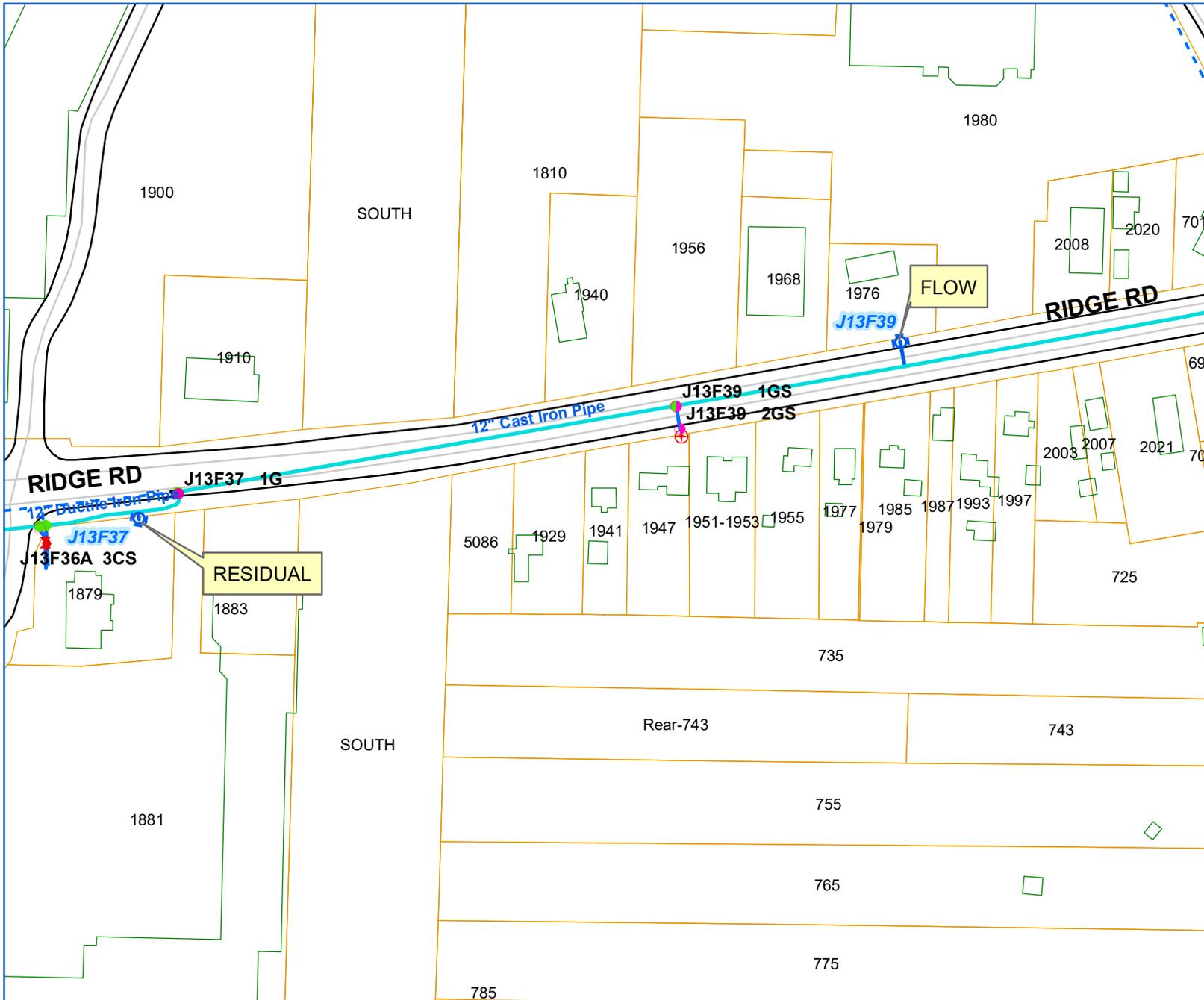
The Contractor shall be responsible to locate the existing sewer and abandon the 2 existing connections. The proposed sanitary lateral will connect to the existing 8" PVC sanitary sewer as shown on the Utility Plan. The proposed building finished floor elevation is 633.00 feet. A cleanout is proposed outside the building, in the grass, and a second at the point of connect to the existing sewer. There is also a proposed 1,200-gallon grease interceptor on the east side of the building which connects to the sanitary lateral.

Based on Burger King's experience of operating stores across the United States, the anticipated average daily wastewater flow rate for the store is approximately 1,600 gpd.

## Appendix A

### Hydrant Flow Test Data

# RIDGE RD



1 inch = 200 feet

### Legend:

Parcels



ARM Hydrant Flow Test Inquiry -- Hydrant: J13F37 Test Date/Time: 11/05/2019 10:00 CHI 095-B  
 Address: RIDGE RD Side: S Location: 1ST E/O LANGNER RD  
 W SENECA FACTORY OUTLET MALL  
 Size of Main/Branch: 12"/6" Fire District: 68022 FIRE DIST 3 Water District: 044 ECWA AREA-WEST SENECA

Performed By: DWP/MES Comments: HYDRANT FLOW TEST REQUESTED BY THOMAS YAGER, ISO  
 PHONE: 716-207-4967; EMAIL: TYAGER@ISO.COM

CW #40303

Discharge Coef: .90 Elvtn Usgs(ft): Static(psi): 88 Residual (psi): 82 Required Residual Pressure(psi): 20  
 Gallons Used: 6,960 Total Flow(gpm): 2,326 Flow at Req'd Resid Pressure: 8,629

Flow Hydrants:

C	Flow Hyd	Flow Hydrant Address	Main/Brnch	Nzle	Size	Pitot	Flow	Comments
-	J13 F39	1976 RIDGE RD	12"/6"	1:	2.50	48.0	1,163	
		2ND HYD W/O ORCHARD PK RD		2:	2.50	48.0	1,163	
				3:				Tot Flow: 2,326

Bottom

I=Flow Hydrant Inquiry  
 ENTER=Continue F3=Exit F6=Maintain Test F7=Test Hydrant Inquiry F15=Print Test Information

## Appendix B

### Storm Sewer Pipe Sizing Spreadsheet



Project: Burger King, West Seneca, NY  
 Project No.: 21-0239  
 County, State: Erie County, NY  
 By: SAS  
 Date: 02/18/22

**PROPOSED DRAINAGE AREA SUMMARY - (STORM SEWER D)**

DESIGNATION	LAND USE	MEASURED AREA (ft <sup>2</sup> )	AREA (acres)	c	A x c	COMPOSITE c
D-5	LANDSCAPED	2,762	0.063	0.25	0.016	0.77
	IMPERVIOUS	10,774	0.247	0.90	0.223	
	TOTAL	13,536	0.311		0.238	
D-4	LANDSCAPED	0	0.000	0.25	0.000	0.00
	IMPERVIOUS	0	0.000	0.90	0.000	
	TOTAL	0	0.000		0.000	
D-3	LANDSCAPED	0	0.000	0.25	0.000	0.90
	IMPERVIOUS	1,479	0.034	0.90	0.031	
	TOTAL	1,479	0.034		0.031	
D-2	LANDSCAPED	491	0.011	0.25	0.003	0.87
	IMPERVIOUS	9,975	0.229	0.90	0.206	
	TOTAL	10,467	0.240		0.209	
D-1	LANDSCAPED	0	0.000	0.25	0.000	0.00
	IMPERVIOUS	0	0.000	0.90	0.000	
	TOTAL	0	0.000		0.000	
D	LANDSCAPED	0	0.000	0.25	0.000	0.00
	IMPERVIOUS	0	0.000	0.90	0.000	
	TOTAL	0	0.000		0.000	
TOTAL	LANDSCAPED	3,253	0.075	0.25	0.019	0.82
	IMPERVIOUS	22,228	0.510	0.90	0.459	
	TOTAL	25,481	0.585		0.478	



Project: Burger King, West Seneca, NY  
 Project No.: 21-0239  
 County, State: Erie County, NY  
 By: SAS  
 Date: 02/18/22

NOTES: \* Based on 10-year design storm  
 \* Matching crown of pipes  
 \* Min. cover = 2.00 ft  
 \* All CPP is smooth lined  
 \* Min. Tc = 5 min

15:50

## Proposed Storm Sewer Computations

Structure Designations		Hydrology at Current Structure				Hydrology of Upstream Structures			Peak Discharge at Current Structure				Pipe Characteristics									
		From	To	T <sub>c</sub>	C	A (ac)	(C x A)	From	T <sub>c</sub>	(C x A)	Total (C x A)	Controlling T <sub>c</sub>	i	Q (cfs)	Pipe Dia.	Mat'l	n	Length (ft)	Slope (%)	Capacity (cfs)	Velocity (fps)	Time (min)
Water	<b>D-5</b>	<b>D-4</b>																				
T.G.	629.81							No upstream structures														
INV.	632.35																					
	629.14	628.65	5.00	0.77	0.31	0.24			0.24	5.00	5.10	1.2	12	CPP	0.013	25	2.00	5.0	6.4	0.06		
Water	<b>D-4</b>	<b>D-3</b>						D-5	5.06	0.24												
T.G.	629.31							TOTAL	5.06	0.24												
INV.	632.56								0.24	5.06	5.08	1.2	12	CPP	0.013	33	2.00	5.0	6.4	0.09		
	628.65	627.98	5.00	0.00	0.00	0.00																
Water	<b>D-3</b>	<b>D-1</b>						D-4	5.15	0.24												
T.G.	628.69							TOTAL	5.15	0.24												
INV.	632.08								0.27	5.15	5.04	1.4	12	CPP	0.013	67	2.00	5.0	6.4	0.17		
	627.98	626.65	5.00	0.90	0.03	0.03																
Water	<b>D-2</b>	<b>D-1</b>						D-3	5.32	0.27												
T.G.	627.50							TOTAL	5.32	0.27												
INV.	631.50								0.48	5.32	4.97	2.4	12	CPP	0.013	17	5.00	8.0	10.1	0.03		
	627.50	626.65	5.00	0.87	0.24	0.21																
Water	<b>D-1</b>	<b>D</b>						No upstream structures														
T.G.	626.65																					
INV.	632.17								0.00	5.00	5.10	0.0	12	CPP	0.013	3	5.00	8.0	10.1	0.00		
	626.65	626.50	5.00	0.00	0.00	0.00																

625.20 Tailwater Condition (10-year)

# Appendix C

## Record Plans



# Erie County On-Line Mapping Application



### Legend

- Parcels
- Streets and Highways**
  - Interstate
  - Primary State Road
  - Secondary State Road
  - County Road
  - Local Road

0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

**ERIE COUNTY  
DEPARTMENT OF ENVIRONMENT & PLANNING  
OFFICE OF GIS**

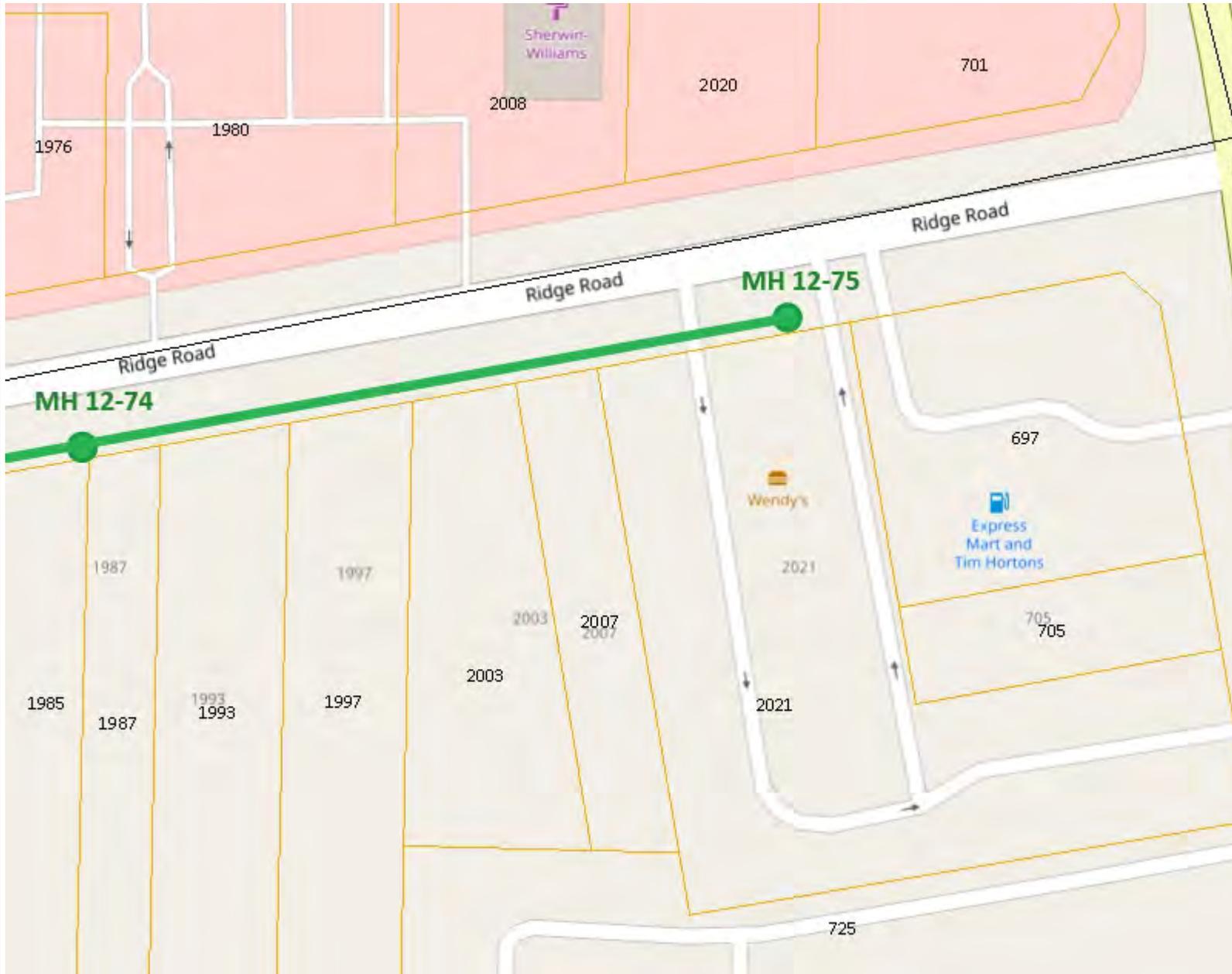
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 1,128





# Erie County On-Line Mapping Application



### Legend

- Parcels
- Streets and Highways**
  - Interstate
  - Primary State Road
  - Secondary State Road
  - County Road
  - Local Road

0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

ERIE COUNTY  
DEPARTMENT OF ENVIRONMENT & PLANNING  
OFFICE OF GIS

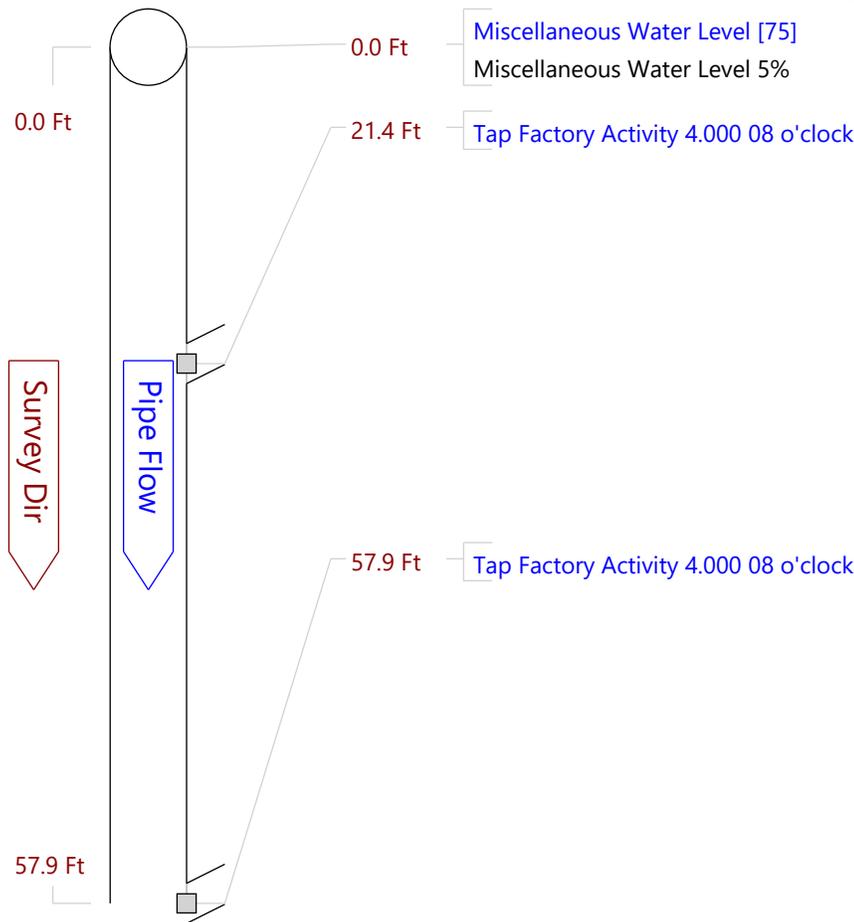
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 1,128



<b>Sheet</b> 5	<b>Surveyor</b> WS	<b>Certificate</b> WS	<b>System Owner</b>
<b>Revised By</b>	<b>Reviewer #</b>	<b>Work Order</b>	
<b>Customer</b> WEST SENECA		<b>PO</b>	<b>Media Label</b>
<b>Date</b> 20211201 09:35	<b>Weather</b>	<b>PreClean</b> Light Cleaning	<b>Date Cleaned</b>
<b>Flow Control</b>		<b>Purpose</b>	<b>Direction</b> Downstream
<b>Inspection Status</b> Complete Inspection		<b>Consequence of Failure</b>	<b>Pressure</b>
<b>Inspection Technology Used</b>	<input type="checkbox"/> CCTV <input type="checkbox"/> Laser <input type="checkbox"/> Sonar <input type="checkbox"/> Sidewall <input type="checkbox"/> Zoom <input type="checkbox"/> Other		
<b>Street</b> ridge rd	<b>City</b> WEST SENECA	<b>Drainage Area</b>	
<b>Location</b>		<b>Pipe Use</b> Sanitary Sewage Pipe	
<b>Details</b>		<b>Height</b> 8	<b>Width</b> in
<b>Shape</b> Circular	<b>Material</b> Polypropylene	<b>Lining</b>	
<b>Coating</b>	<b>Joint Length</b> ft	<b>Total Length</b> 340.0	<b>ft</b>
<b>Len. Surveyed</b> 340.0	<b>ft</b>	<b>Year Constructed</b>	<b>Year Rehabilitated</b>
<b>Up</b> 75	<b>Rim Invert</b>	<b>Grade Invert</b>	<b>Rim Grade</b> ft
<b>Northing</b>	<b>Easting</b>	<b>Elevation</b>	
<b>Down</b> 74	<b>Rim Invert</b>	<b>Grade Invert</b>	<b>Rim Grade</b> ft
<b>Northing</b>	<b>Easting</b>	<b>Elevation</b>	
<b>Coordinate System</b>		<b>Vertical Datum</b>	
<b>GPS Accuracy</b>			
<b>Additional Info</b>			

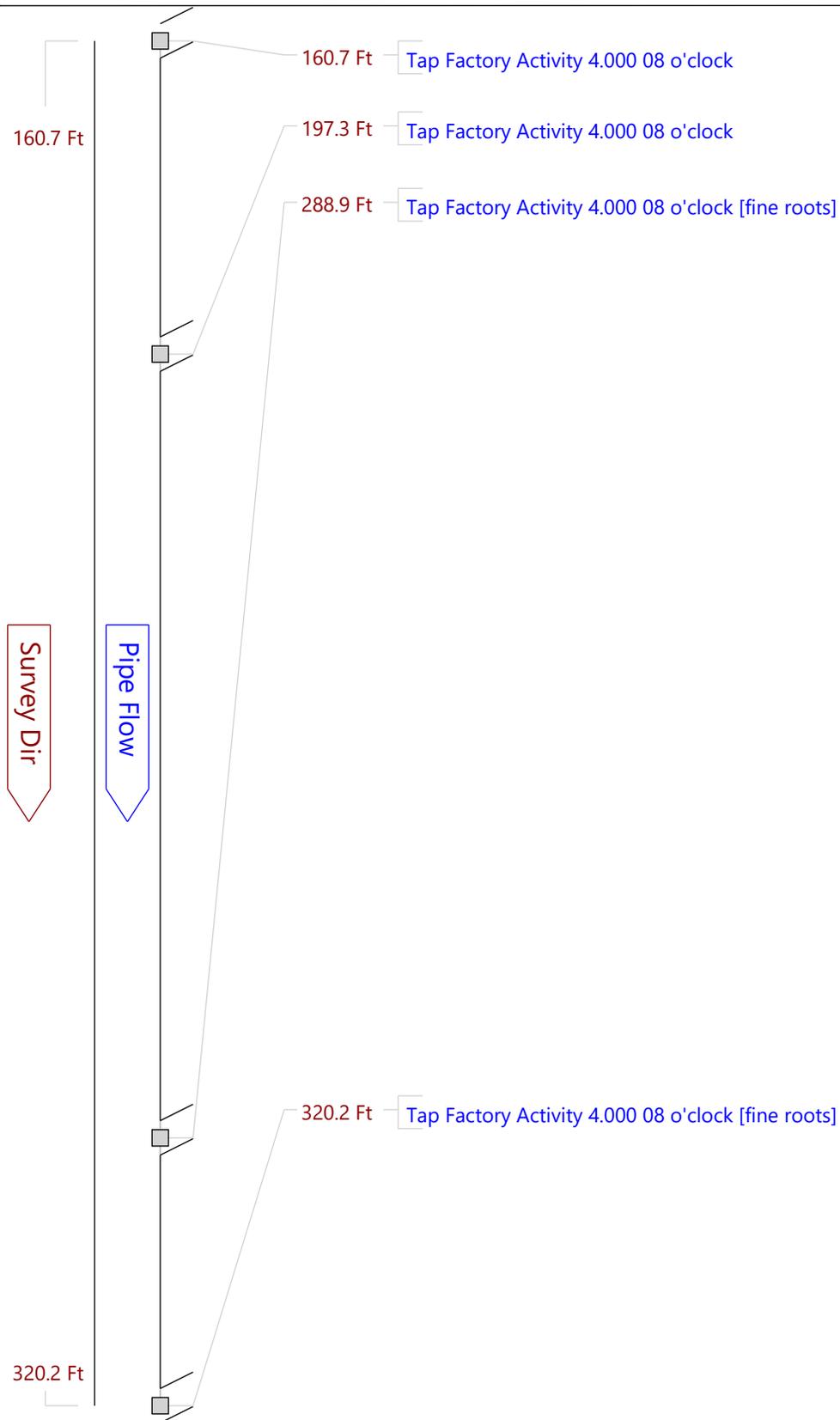
Miscellaneous    Structural    O&M    Constructional



21.4 Tap Factory Activity



57.9 Tap Factory Activity



160.7 Tap Factory Activity



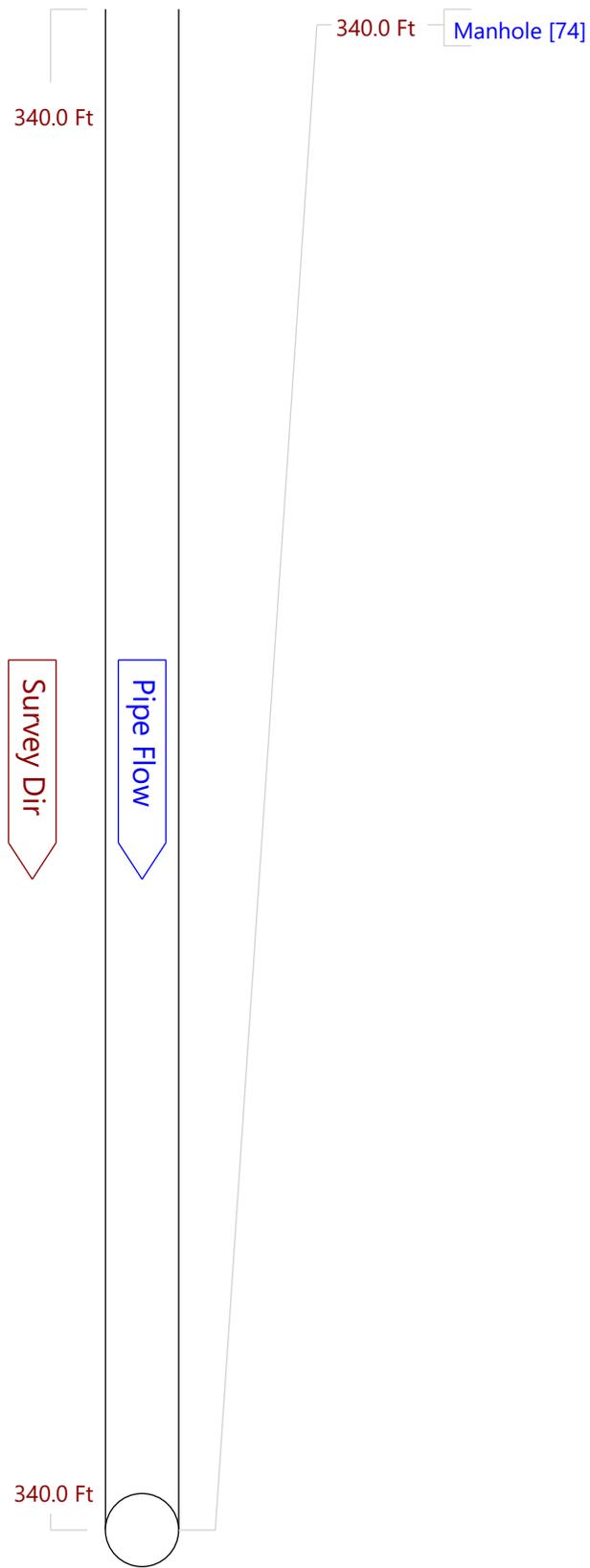
197.3 Tap Factory Activity



288.9 Tap Factory Activity



320.2 Tap Factory Activity



340.0 Manhole

# Appendix D

## Survey



VICINITY MAP  
(NOT TO SCALE)

RECORD DESCRIPTIONS:

No. 1997 Ridge Road  
Parcel A  
Liber 11134, Page 9130

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 296, TOWNSHIP 10, RANGE 7 OF THE BUFFALO CREEK RESERVATION AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the south line of said lot, 765.10 feet east of the west line of said lot; running thence easterly along the south line of said lot, 58.80 feet; thence northerly parallel with the west line of said lot, 349 feet to the south line of Ridge Road; thence westerly along the southerly line of Ridge Road 59.83 feet to a line drawn parallel with the west line of the lot from the place of beginning; thence southerly along said parallel line 340.79 feet to the south line of said lot at the place of beginning. Together with all right, title and interest of, in and to any streets and roads abutting the above-described premises.

No. 2003 Ridge Road  
Parcel B  
Liber 11079, Page 2477

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NUMBER 296, TOWNSHIP 10, RANGE 7 OF THE BUFFALO CREEK RESERVATION BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the southerly line of Ridge Road distant three hundred ten (310) feet westerly from the intersection of said line of Ridge Road with the westerly line of Orchard Park Road, as measured along said line of Ridge Road, thence southerly parallel to the Orchard Park Road, two hundred twenty and ten hundredths (220.10) feet to lands conveyed by Herbert A. Davis by deed recorded in Liber 1304 of deeds at page 7, thence westerly and parallel to the southerly line of Lot No. 296 a distance of eight-seventy and fifty six hundredths (87.56) feet to the westerly line of lands conveyed to John J. Depler by deed recorded in Liber 800 of deeds at page 495, thence northerly along said westerly line two hundred seven and eighteen hundredths (207.18) feet to the south line of Ridge Road, thence easterly along the south line of Ridge Road, forty-seven (47) feet to the place of beginning.

No. 2007 Ridge Road  
Parcel C  
Liber 11116, Page 1781

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NUMBER 296 TOWNSHIP 10 RANGE 7 OF THE BUFFALO CREEK RESERVATION, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the southerly line of Ridge Road distant 270 feet westerly of the intersection of said line of Ridge Road with the westerly line of Orchard Park Road measured along said line of Ridge Road; thence westerly along said line of Ridge Road 40 feet; thence southerly and parallel with the Orchard Park Road 230.10 feet; thence easterly parallel with the southerly line of said lot No. 296, 40.71 feet; thence northerly parallel with said line of Orchard Park Road 228.10 feet to the southerly line of Ridge Road at the place of beginning.

PARCEL AREAS:  
PARCEL A: SBL 143.06-1-11 = 0.467± ACRES  
PARCEL B: SBL 143.06-1-12 = 0.327± ACRES  
PARCEL C: SBL 143.06-1-13 = 0.206± ACRES  
COMBINED AREA = 1.000± ACRES

FLOOD ZONE CLASSIFICATION:  
PARCEL IS LOCATED IN ZONE "AREA OF MINIMAL FLOOD HAZARD" PER FEMA FLOOD INSURANCE RATE MAP NO. 36029C0334H, EFFECTIVE DATE JUNE 7, 2019.

PARKING SPACES:  
THERE ARE NO DESIGNATED PARKING SPACES.

TABLE "A" NOTES:  
ITEM 15: THERE WAS NO RECTIFIED ORTHOPHOTOGRAHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/MOBILE LASER SCANNING USED FOR THIS SURVEY  
ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK  
ITEM 17: NO INFORMATION REGARDING PROPOSED CHANGES TO STREET RIGHT OF WAY LINES WAS PROVIDED TO THE SURVEYOR  
ITEM 18: NO PLOTTABLE EASEMENTS DISCLOSED IN DOCUMENTS WERE SUPPLIED TO THE SURVEYOR

UTILITY NOTES:  
1) DEPTH AND ACTUAL LOCATION OF UTILITY LINES OTHER THAN SANITARY AND STORM SEWER LINES HAVE NOT BEEN PHYSICALLY MEASURED IN THE FIELD.  
2) NO STORM SEWER INFORMATION WAS PROVIDED THROUGH THE DIG SAFELY UTILITY DESIGN REQUEST.

COMMITMENT FOR TITLE INSURANCE NO. 1997, 2003 & 2007 RIDGE ROAD:  
TITLE POLICY AND TITLE SEARCH PROVIDED BY STEWART TITLE INSURANCE COMPANY, POLICY NO. WOG-3624 WITH EFFECTIVE DATE OF 9/7/2021.

SCHEDULE B NOTES (POLICY NO. WOG-3624):

AFFECTS PARCELS A & B:  
ITEM NO. 26: EASEMENT GRANTED TO NEW YORK STATE ELECTRIC AND GAS CORPORATION BY INSTRUMENT DATED JULY 12, 1944 AND RECORDED IN THE ERIE COUNTY CLERK'S OFFICE ON SEPTEMBER 5, 1944 IN LIBER 3593 OF DEEDS, PAGE 9881. BLANKET EASEMENT AFFECTING SEVERAL PARCELS, NOT PLOTTABLE.  
AFFECTS PARCEL C:  
DECLARATION OF EASEMENT BY AND BETWEEN FX NET LEASE HOLDINGS LLC AND GLR HOLDINGS LLC DATED MARCH 11, 2016 AND RECORDED IN THE ERIE COUNTY CLERK'S OFFICE ON MARCH 29, 2016 IN LIBER 11293 OF DEEDS, PAGE 9881. BLANKET EASEMENT AFFECTING SEVERAL PARCELS, NOT PLOTTABLE.

SURVEY REFERENCES

TAX MAP 143.06  
LIBER 11079, PAGE 2477 (NO. 1997 RIDGE ROAD)  
LIBER 11134, PAGE 9130 (NO. 2003 RIDGE ROAD)  
LIBER 10876, PAGE 3073 (SBL 143.06-1-18.11)  
LIBER 11116, P.1781 (NO. 2007 RIDGE ROAD)

NOTE: NO PREVIOUS SURVEYS OR MAPS WERE PROVIDED OR OBTAINED WHILE PREPARING THIS SURVEY.

WARNING: ALTERING THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7209, PART 2 OF THE NEW YORK STATE EDUCATION LAW.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATEMENT OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



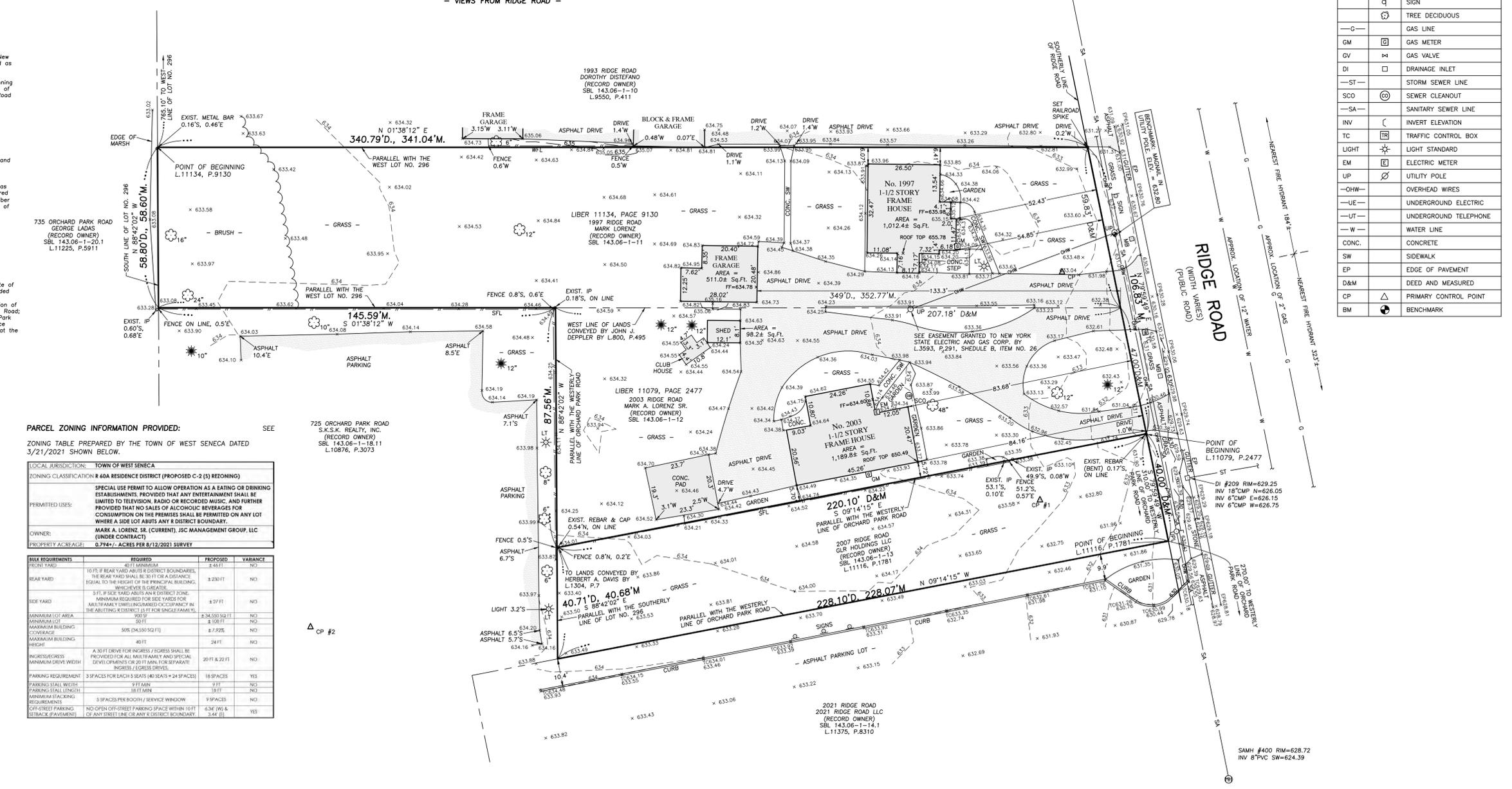
FROM NORTHEAST PROPERTY CORNER



FROM CENTER OF PROPERTY



FROM NORTHWEST CORNER OF PROPERTY



PARCEL ZONING INFORMATION PROVIDED:  
ZONING TABLE PREPARED BY THE TOWN OF WEST SENECA DATED 3/21/2021 SHOWN BELOW.

LOCAL JURISDICTION:	TOWN OF WEST SENECA
ZONING CLASSIFICATION:	R 40A RESIDENCE DISTRICT (PROPOSED C-2 (S) ZONING)
PERMITTED USES:	SPECIAL USE PERMIT TO ALLOW OPERATION AS A EATING OR DRINKING ESTABLISHMENTS. PROVIDED THAT ANY ENTERTAINMENT SHALL BE LIMITED TO TELEVISION, RADIO OR RECORDED MUSIC, AND FURTHER PROVIDED THAT NO SALES OF ALCOHOLIC BEVERAGES FOR CONSUMPTION ON THE PREMISES SHALL BE PERMITTED ON ANY LOT WHERE A SIDE LOT ABUTS ANY R DISTRICT BOUNDARY.
OWNER:	MARK A. LORENZ, SR. (CURRENT), JSC MANAGEMENT GROUP, LLC (UNDER CONTRACT)
PROPERTY ACRESAGE:	0.774± ACRES PER 8/12/2021 SURVEY

BILL REQUIREMENTS	PROPOSED	PROPOSED	VARIANCE
FRONT YARD	40 FT MINIMUM	45 FT	NO
REAR YARD	10 FT IF REAR YARD ABUTS R DISTRICT BOUNDARIES, THE REAR YARD SHALL BE 30 FT OR A DISTANCE EQUAL TO THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS GREATER	20 FT	NO
SIDE YARD	5 FT. IF SIDE YARD ABUTS AN R DISTRICT ZONE, MINIMUM REQUIRED FOR SIDE YARD FOR MULTIFAMILY UNWEIGHED OCCUPANCY IN THE ADJUTING R DISTRICT IS 5 FT FOR SINGLE-FAMILY.	4 FT	NO
MINIMUM LOT AREA	6000 SQ FT	34,500 SQ FT	NO
MINIMUM LOT COVERAGE	20%	8.10%	NO
MAXIMUM BUILDING COVERAGE	SITE (MAX 50 FT)	87.92%	NO
MAXIMUM BUILDING HEIGHT	40 FT	24 FT	NO
INGRESS/EGRESS MINIMUM DRIVE WIDTH	A 30 FT DRIVE FOR INGRESS / EGRESS SHALL BE PROVIDED FOR ALL MULTIFAMILY AND SPECIAL DEVELOPMENTS OR 20 FT FOR SEPARATE INGRESS / EGRESS DRIVES.	20 FT & 22 FT	NO
PARKING REQUIREMENT	3 SPACES FOR EACH 5 SEATS (40 SEATS = 24 SPACES)	18 SPACES	YES
PARKING STALL WIDTH	9 FT MIN	9 FT	NO
PARKING STALL LENGTH	18 FT MIN	18 FT	NO
MINIMUM STACKING REQUIREMENTS	5 SPACES PER BOOTH / SERVICE WINDOW	3 SPACES	NO
OFF-STREET PARKING (PAVEMENT)	NO OPEN OFF-STREET PARKING SPACE WITHIN 10 FT OF ANY STREET LINE OR ANY R DISTRICT BOUNDARY.	6.34 (W) & 3.44 (E)	YES

SURVEY CONTROL  
VERTICAL DATUM = NAVD88 (GEOID 18)  
HORIZONTAL DATUM = NAD83 (2011)

Point	Northing	Easting	Elevation	Description
1	1030881.8820	1096228.3090	633.32	REBAR & CAP
2	1030623.0008	1095267.0161	633.56	MAG. NAIL
3	1030741.4641	1096520.8404	632.55	MAGNAIL

ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. BEFORE YOU DIG, DRILL, OR BLAST, CALL DIG SAFELY NEW YORK AT 1-800-962-7962

CERTIFICATION:

To:  
• JSC West Seneca Land LLC  
• Stewart Title Insurance Company  
• Woods Oviatt Gilman LLP  
• Northern Bank & Trust Company  
• Mawn and Mawn, P.C.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4,5,6a,6b,7a,7b,7c,8,9,11(c),11(b),13,14,15,16,17,18 and 19 of Table A thereof. The field work was completed on 8/12/2021.

Date of Plat or Map: \_\_\_\_\_  
Signed: \_\_\_\_\_  
Rosanne Frandina, PLS, PE  
New York State License No. 50510

DATE OF SURVEY	DATE OF REVISION	COMMENT	INT.
8/12/2021	10/14/2021	REVISED PER 9/23/21 REVIEW	MUC
8/12/2021	11/19/2021	ADD PARCEL SBL 143.06-1-13	MUC
8/12/2021	11/23/2021	REVISED PER COMMENTS	MUC
8/12/2021	12/13/2021	ADD CERTIFICATION PARTIES	MUC
8/12/2021	12/13/2021	ADD SCHED. B, ITEM NO.26 NOTE	MUC
8/12/2021	2/4/2022	UPDATE TITLE POLICY INFO.	MUC

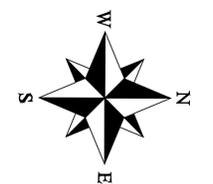
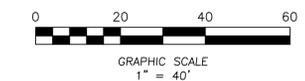
This map void unless Embossed with New York State Licensed Land Surveyors Seal No. 50510

ALTA/NSPS LAND TITLE SURVEY  
PART OF LOT 296, TWP 10, RGE 7  
OF THE BUFFALO CREEK RESERVATION  
TOWN OF WEST SENECA  
COUNTY OF ERIE ~ STATE OF NEW YORK

FRANDINA ENGINEERING AND LAND SURVEYING, PC  
CIVIL ENGINEERS AND LAND SURVEYORS  
1701 Hertel Avenue, Buffalo, New York 14216  
Phone: (716) 883-1299  
www.FRANDINA.com

DRAWING NAME: SURVEY SHEET NO.: SV  
DATE: 8/12/2021 SHEET: 1 OF 1 DWN BY: MUC  
JOB NO.: 4775 SCALE: 1" = 20' CHK'D BY: RF

SAM# 403 RIM=631.93  
INV 8" PVC NE=622.88  
INV 8" PVC SW=622.88



LEGEND

CLF	CHAIN LINK FENCE
SFL	STOCKADE FENCE
WFL	WIRE FENCE
MB	MAIL BOX
	SIGN
	TREE DECIDUOUS
G	GAS LINE
GM	GAS METER
GV	GAS VALVE
DI	DRAINAGE INLET
ST	STORM SEWER LINE
SCO	SEWER CLEANOUT
SA	SANITARY SEWER LINE
INV	INVERT ELEVATION
LC	LIGHT STANDARD
EM	ELECTRIC METER
UP	UTILITY POLE
OHW	OVERHEAD WIRES
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
W	WATER LINE
CONC.	CONCRETE
SW	SIDEWALK
EP	EDGE OF PAVEMENT
D&M	DEED AND MEASURED
CP	PRIMARY CONTROL POINT
BM	BENCHMARK

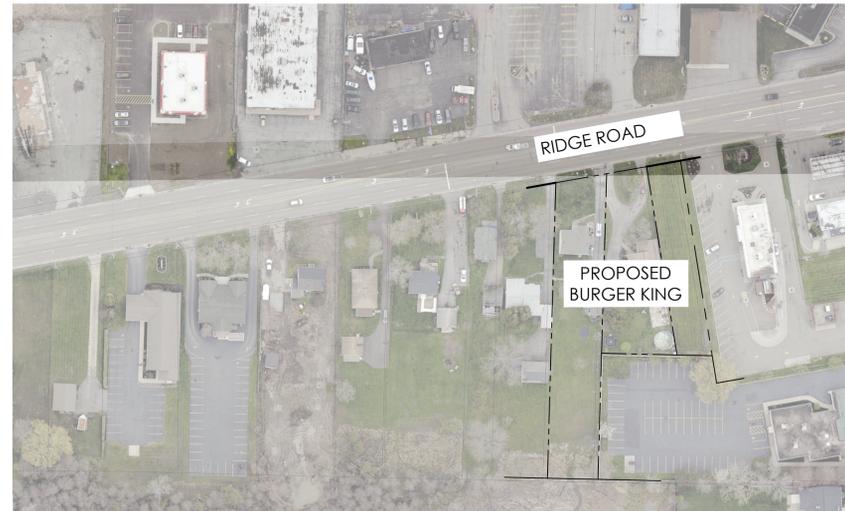


# SITE DEVELOPMENT PLANS

FOR

## BURGER KING - TOWN OF WEST SENECA, NY

1997, 2003, & 2007 RIDGE ROAD  
WEST SENECA, NY, 14224



**LOCATION SKETCH**  
N.T.S.

**DRAWING LIST:**

- CS Cover Sheet
- SV Survey
- C1 Demolition Plan
- C2 Overall Site Plan
- C2.1 Site Plan
- C3 Grading & Drainage Plan
- C3.1 Stormwater Plan
- C4 Utility Plan
- C5 Planting & Lighting Plan
- C6 Details Sheet
- C7 Details Sheet
- C8 Details Sheet
- C9 Details Sheet
- C10 Specifications

**CLIENT:**

JSC MANAGEMENT GROUP  
BURGER KING FRANCHISEE  
PO BOX 217  
LYNDONVILLE NY 14098  
(585) 755-3950

**ENGINEER:**

APD ENGINEERING & ARCHITECTURE  
615 FISHERS RUN  
VICTOR, NY 14564  
(585) 742-0222  
CONTACT: TODD MARKEVICZ, P.E.

**AGENCY & MUNICIPALITY CONTACTS:**

TOWN OF WEST SENECA  
1250 UNION ROAD, ROOM 210  
WEST SENECA, NY 14224  
716-558-3242  
CONTACT: JEFFREY SCHIEBER

**UTILITY CONTACTS:**

ELECTRIC SERVICE: NYSEG LANCASTER ELECTRIC  
ADDRESS: 150 ERIE ST, LANCASTER, NY 14086  
PHONE: 1-716-681-5030  
CONTACT:

GAS SERVICE: NATIONAL FUEL GAS | BUFFALO - NFG101  
ADDRESS: 409 MAIN ST., BUFFALO, NY 14203  
PHONE: 716-857-7431  
CONTACT: TIM NUGENT

PHONE SERVICE: VERIZON  
ADDRESS: 65 FRANKLIN STREET, ROOM 602, BUFFALO, NY 14202  
PHONE: 716-685-5785  
CONTACT: CAROLYN YUNKE

WATER SERVICE: ERIE COUNTY WATER AUTHORITY  
ADDRESS: 295 MAIN STREET, ROOM 350, BUFFALO, NY 14203  
PHONE: 716-685-8207  
CONTACT: ADAM MASSARO

SANITARY SEWER SERVICE: ERIE COUNTY DIVISION OF SEWER  
MANAGEMENT  
ADDRESS: 95 FRANKLIN STREET, ROOM 1034, BUFFALO, NY 14202  
PHONE: 716-558-3241  
CONTACT: WEST SENECA CODE ENFORCEMENT - JEFF BASKA

Issued:	Date:
A	
B	
C	
D	
E	
F	
G	
H	

Revisions:	Date:
1 Revised per Town Comments	02/18/22
2	
3	
4	
5	
6	
7	
8	



Seal 2/18/22 Seal  
CIVIL ENGINEER OF RECORD  
Name: Todd G. Markevitz  
New York License No.: 080577  
Exp. Date: November 30, 2023  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2023

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A.P.D. Engineering & Architecture PLLC  
1422 NY 142  
VICTOR, NY 14564  
585.742.2222

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**DO NOT SCALE PLANS**  
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**Burger King Store #:**  
S.B.L. No. 143.06-1-11, 12, & 13  
1997, 2003, & 2007 Ridge Road  
West Seneca, NY 14224  
Erie County (Town of West Seneca)  
Project Name & Location:

Cover Sheet	
Drawing Name:	
Date: 04/19/21	Project No. 21-0239
Type:	
Drawn By: SAS	CS
Scale: N.T.S.	Drawing No.



VICINITY MAP  
(NOT TO SCALE)

RECORD DESCRIPTIONS:

No. 1997 Ridge Road  
Parcel A  
Liber 11134, Page 9130

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NO. 296, TOWNSHIP 10, RANGE 7 OF THE BUFFALO CREEK RESERVATION AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the south line of said lot, 765.10 feet east of the west line of said lot; running thence easterly along the south line of said lot, 58.80 feet; thence northerly parallel with the west line of said lot, 349 feet to the south line of Ridge Road; thence westerly along the southerly line of Ridge Road 59.83 feet to a line drawn parallel with the west line of the lot from the place of beginning; thence southerly along said parallel line 340.79 feet to the south line of said lot at the place of beginning. Together with all right, title and interest of, in and to any streets and roads abutting the above-described premises.

No. 2003 Ridge Road  
Parcel B  
Liber 11079, Page 2477

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NUMBER 296, TOWNSHIP 10, RANGE 7 OF THE BUFFALO CREEK RESERVATION BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the southerly line of Ridge Road distant three hundred ten (310) feet westerly from the intersection of said line of Ridge Road with the westerly line of Orchard Park Road, as measured along said line of Ridge Road, thence southerly parallel to the Orchard Park Road, two hundred twenty and ten hundredths (220.10) feet to lands conveyed by Herbert A. Davis by deed recorded in Liber 1304 of deeds at page 7, thence westerly and parallel to the southerly line of Lot No. 296 a distance of eight-seventy and fifty six hundredths (87.56) feet to the westerly line of lands conveyed to John J. Depler by deed recorded in Liber 800 of deeds at page 495, thence northerly along said westerly line two hundred seven and eighteen hundredths (207.18) feet to the south line of Ridge Road, thence easterly along the south line of Ridge Road, forty-seven (47) feet to the place of beginning.

Note: The southerly course is missing in the supplied deed description.

No. 2007 Ridge Road  
Parcel C  
Liber 11116, Page 1781

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF WEST SENECA, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NUMBER 296 TOWNSHIP 10 RANGE 7 OF THE BUFFALO CREEK RESERVATION, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING at a point in the southerly line of Ridge Road distant 270 feet westerly of the intersection of said line of Ridge Road with the westerly line of Orchard Park Road measured along said line of Ridge Road; thence westerly along said line of Ridge Road 40 feet; thence southerly and parallel with the Orchard Park Road 230.10 feet; thence easterly parallel with the southerly line of said lot No. 296, 40.71 feet; thence northerly parallel with said line of Orchard Park Road 228.10 feet to the southerly line of Ridge Road at the place of beginning.

PARCEL AREAS:  
PARCEL A: SBL 143.06-1-11 = 0.467± ACRES  
PARCEL B: SBL 143.06-1-12 = 0.327± ACRES  
PARCEL C: SBL 143.06-1-13 = 0.206± ACRES  
COMBINED AREA = 1.000± ACRES

FLOOD ZONE CLASSIFICATION:  
PARCEL IS LOCATED IN ZONE "AREA OF MINIMAL FLOOD HAZARD" PER FEMA FLOOD INSURANCE RATE MAP NO. 36029C0334H, EFFECTIVE DATE JUNE 7, 2019.

PARKING SPACES:  
THERE ARE NO DESIGNATED PARKING SPACES.

TABLE "A" NOTES:  
ITEM 15: THERE WAS NO RECTIFIED ORTHOPHOTOGRAHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/MOBILE LASER SCANNING USED FOR THIS SURVEY  
ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK  
ITEM 17: NO INFORMATION REGARDING PROPOSED CHANGES TO STREET RIGHT OF WAY LINES WAS PROVIDED TO THE SURVEYOR  
ITEM 18: NO PLOTTABLE EASEMENTS DISCLOSED IN DOCUMENTS WERE SUPPLIED TO THE SURVEYOR

UTILITY NOTES:  
1) DEPTH AND ACTUAL LOCATION OF UTILITY LINES OTHER THAN SANITARY AND STORM SEWER LINES HAVE NOT BEEN PHYSICALLY MEASURED IN THE FIELD.  
2) NO STORM SEWER INFORMATION WAS PROVIDED THROUGH THE DIG SAFELY UTILITY DESIGN REQUEST.

COMMITMENT FOR TITLE INSURANCE NO. 1997, 2003 & 2007 RIDGE ROAD:  
TITLE POLICY AND TITLE SEARCH PROVIDED BY STEWART TITLE INSURANCE COMPANY, POLICY NO. WOG-3624 WITH EFFECTIVE DATE OF 9/7/2021.

SCHEDULE B NOTES (POLICY NO. WOG-3624):

AFFECTS PARCELS A & B:  
ITEM NO. 26: EASEMENT GRANTED TO NEW YORK STATE ELECTRIC AND GAS CORPORATION BY INSTRUMENT DATED JULY 12, 1944 AND RECORDED IN THE ERIE COUNTY CLERK'S OFFICE ON SEPTEMBER 5, 1944 IN LIBER 3593 OF DEEDS, PAGE 9881. BLANKET EASEMENT AFFECTING SEVERAL PARCELS, NOT PLOTTABLE.  
AFFECTS PARCEL C:  
DECLARATION OF EASEMENT BY AND BETWEEN FX NET LEASE HOLDINGS LLC AND GLR HOLDINGS LLC DATED MARCH 11, 2016 AND RECORDED IN THE ERIE COUNTY CLERK'S OFFICE ON MARCH 29, 2016 IN LIBER 11293 OF DEEDS, PAGE 9881. BLANKET EASEMENT AFFECTING SEVERAL PARCELS, NOT PLOTTABLE.

SURVEY REFERENCES

TAX MAP 143.06  
LIBER 11079, PAGE 2477 (NO. 1997 RIDGE ROAD)  
LIBER 11134, PAGE 9130 (NO. 2003 RIDGE ROAD)  
LIBER 10876, PAGE 3073 (SBL 143.06-1-18.11)  
LIBER 11116, P.1781 (NO. 2007 RIDGE ROAD)

NOTE: NO PREVIOUS SURVEYS OR MAPS WERE PROVIDED OR OBTAINED WHILE PREPARING THIS SURVEY.

WARNING: ALTERING THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7209, PART 2 OF THE NEW YORK STATE EDUCATION LAW.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATEMENT OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SURVEY CONTROL  
VERTICAL DATUM = NAVD88 (GEOID 18)  
HORIZONTAL DATUM = NAD83 (2011)

Point	Northing	Easting	Elevation	Description
1	1030881.8820	1096228.5090	633.32	REBAR & CAP
2	1030623.0008	1095267.0161	633.56	MAG. NAIL
3	1030741.4641	1096520.8404	632.55	MAGNAIL

ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. BEFORE YOU DIG, DRILL, OR BLAST, CALL DIG SAFELY NEW YORK AT 1-800-962-7962



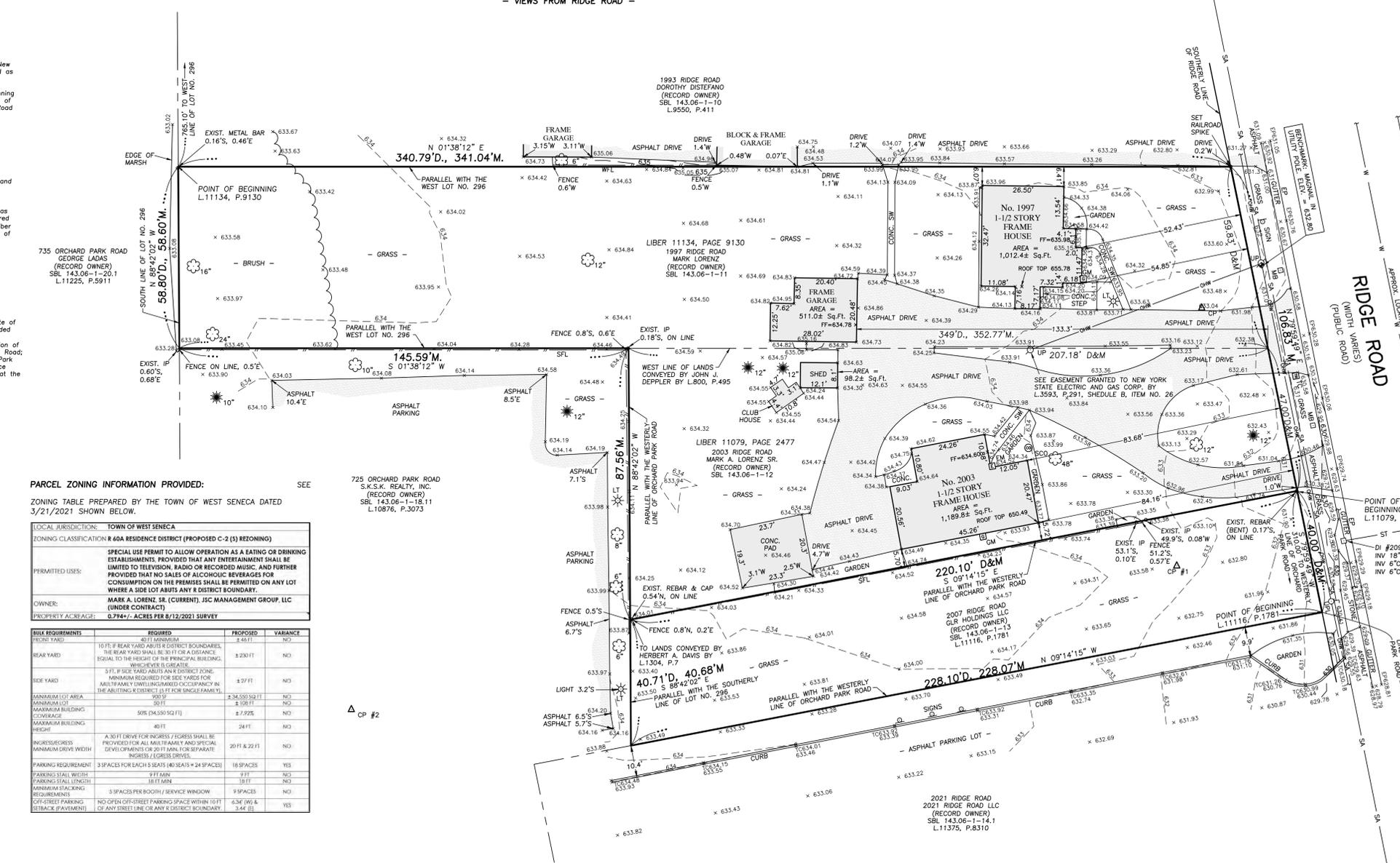
FROM NORTHEAST PROPERTY CORNER



FROM CENTER OF PROPERTY



FROM NORTHWEST CORNER OF PROPERTY



PRELIMINARY  
OUT FOR REVIEW 2/4/2022

NO. 1997 RIDGE ROAD ~ SBL NO. 143.06-1-11  
NO. 2003 RIDGE ROAD ~ SBL NO. 143.06-1-12  
NO. 2007 RIDGE ROAD ~ SBL NO. 143.06-1-13

CERTIFICATION:

To:  
• JSC West Seneca Land LLC  
• Stewart Title Insurance Company  
• Woods Oviatt Gilman LLP  
• Northern Bank & Trust Company  
• Mawn and Mawn, P.C.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4,5,6a,6b,7a,7b,7c,8,9,11(c),11(b),13,14,15,16,17,18 and 19 of Table A thereof. The field work was completed on 8/12/2021.

Date of Plat or Map: \_\_\_\_\_

Signed: \_\_\_\_\_  
Rosanne Frandina, PLS, PE  
New York State License No. 50510

DATE OF SURVEY	DATE OF REVISION	COMMENT	INT.
8/12/2021	10/14/2021	REVISED PER 9/23/21 REVIEW	MUC
8/12/2021	11/19/2021	ADD PARCEL SBL 143.06-1-13	MUC
8/12/2021	11/23/2021	REVISED PER COMMENTS	MUC
8/12/2021	12/13/2021	ADD CERTIFICATION PARTIES	MUC
8/12/2021	12/13/2021	ADD SCHED. B, ITEM NO.26 NOTE	MUC
8/12/2021	2/4/2022	UPDATE TITLE POLICY INFO.	MUC

This map void unless Embossed with New York State Licensed Land Surveyors Seal No. 50510

**ALTA/NSPS LAND TITLE SURVEY**  
PART OF LOT 296, TWP 10, RGE 7  
OF THE BUFFALO CREEK RESERVATION  
TOWN OF WEST SENECA  
COUNTY OF ERIE ~ STATE OF NEW YORK

**FRANDINA ENGINEERING AND LAND SURVEYING, PC**  
CIVIL ENGINEERS AND LAND SURVEYORS  
1701 Hertel Avenue, Buffalo, New York 14216  
Phone: (716) 883-1299  
www.FRANDINA.com

DRAWING NAME: SURVEY SHEET NO.: SV  
DATE: 8/12/2021 SHEET: 1 OF 1 DWN BY: MUC  
JOB NO.: 4775 SCALE: 1" = 20' CHK'D BY: RF

**DEMOLITION LEGEND:**

- (A) PAVEMENT TO BE REMOVED
- (B) SIDEWALK TO BE REMOVED
- (C) BUILDING/SHED TO BE REMOVED
- (D) UTILITY POLE TO BE RELOCATED
- (E) TREES TO BE REMOVED
- (F) FENCE TO BE REMOVED



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

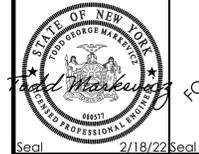
**REFERENCE:**  
1. 4775 1997-2003 RIDGE RD BURGER KING.DWG, SHEET NUMBER 1, LAST REVISED ON 12/13/2021, PREPARED BY FRANDINA ENGINEERING AND LAND SURVEYING, PC

**LEGEND OF IMPROVEMENTS**

- SUBJECT PARCEL PROPERTY LINE
- EXISTING FEATURES/STRUCTURES TO REMAIN
- EXISTING FEATURES TO BE DEMOLISHED
- X EXISTING STRUCTURE TO BE DEMOLISHED
- P.D.C. P.D.C. = PROTECT DURING CONSTRUCTION

Issued:	Date:
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Revisions:	Date:
1 Revised per Town Comments	02/18/22
2	
3	
4	
5	
6	
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8	



FOR APPROVAL ONLY NOT FOR CONSTRUCTION

CIVIL ENGINEER OF RECORD  
Name: Todd G. Markevicz  
New York License No.: 080577  
Exp. Date: November 30, 2023  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2023

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1455 7th Ave  
West Seneca, NY 14224  
585.742.2222

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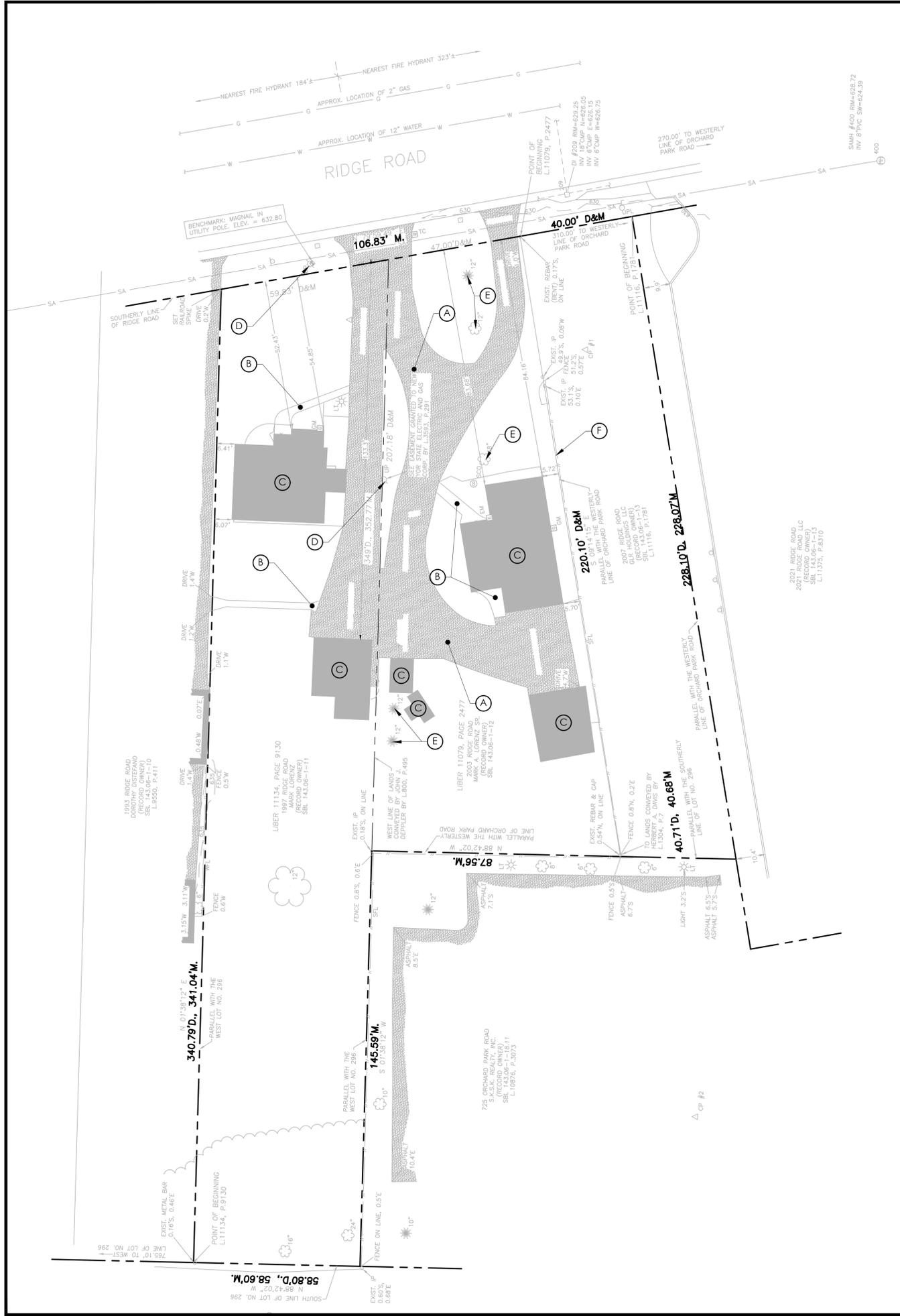
615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

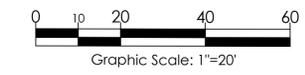
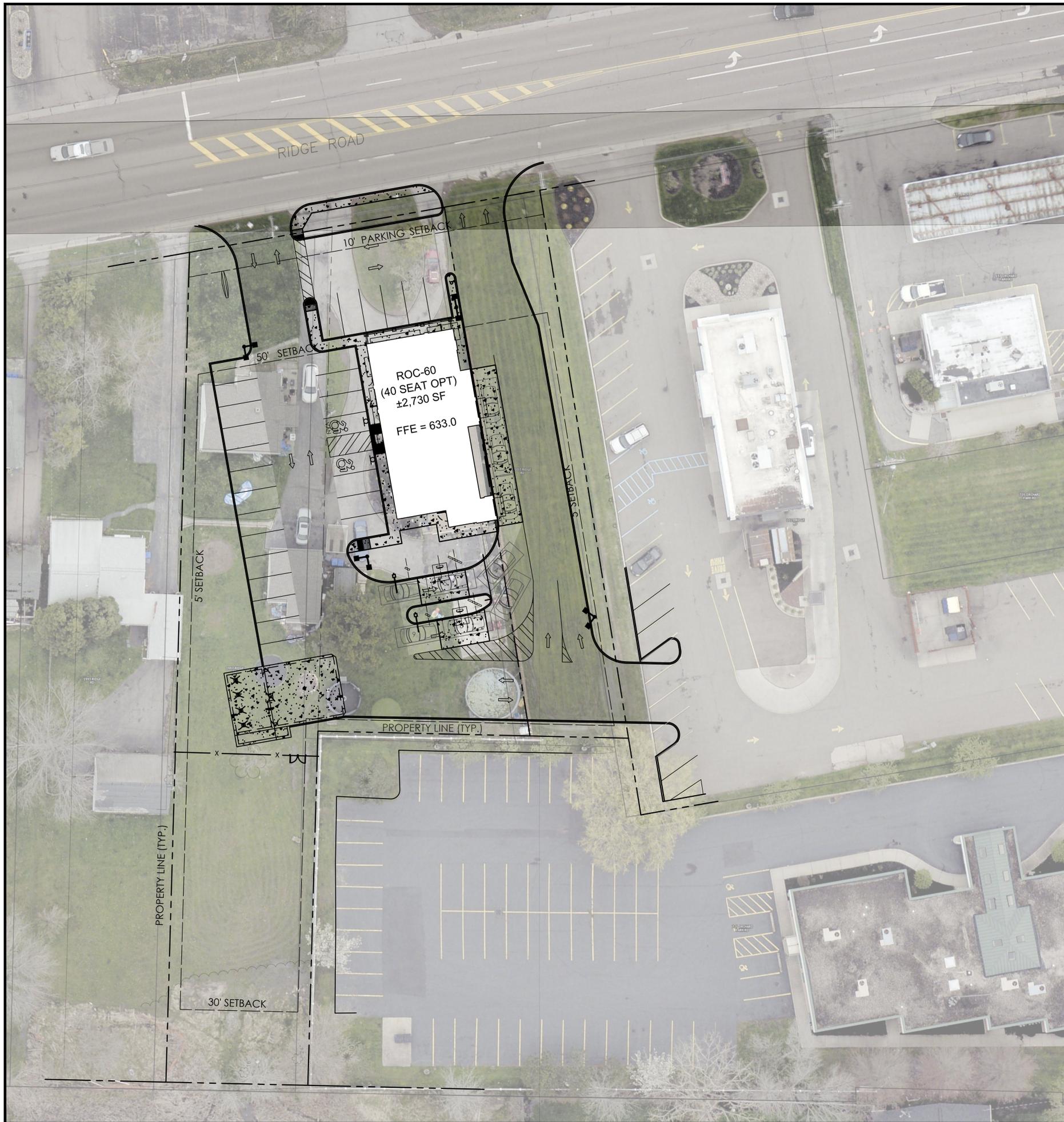
**Burger King**  
JSC MANAGEMENT GROUP  
ATTN: JAMES CAMILLERI  
BURGER KING FRANCHISEE  
585.755.3950

**Burger King Store #:**  
S.B.L. No. 143.06-1-11, 12, & 13  
1997, 2003, & 2007 Ridge Road  
West Seneca, NY 14224  
Erie County (Town of West Seneca)  
Project Name & Location:

**Demolition Plan**

Drawing Name:	Project No.
Date: 04/19/21	21-0239
Type:	C1
Drawn By: SAS	Drawing No.
Scale: 1"=20'	



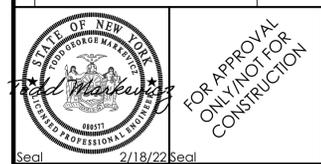


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**REFERENCE:**  
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Issued:	Date:
A	
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Revisions:	Date:
1 Minor Site Plan Revisions	01/06/22
2 Revised per Town Comments	02/18/22
3	
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Seal 2/18/22 Seal  
 CIVIL ENGINEER OF RECORD  
 Name: Todd G. Markevicz  
 New York License No.: 080577  
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 Firm Reg. No.: 0014815  
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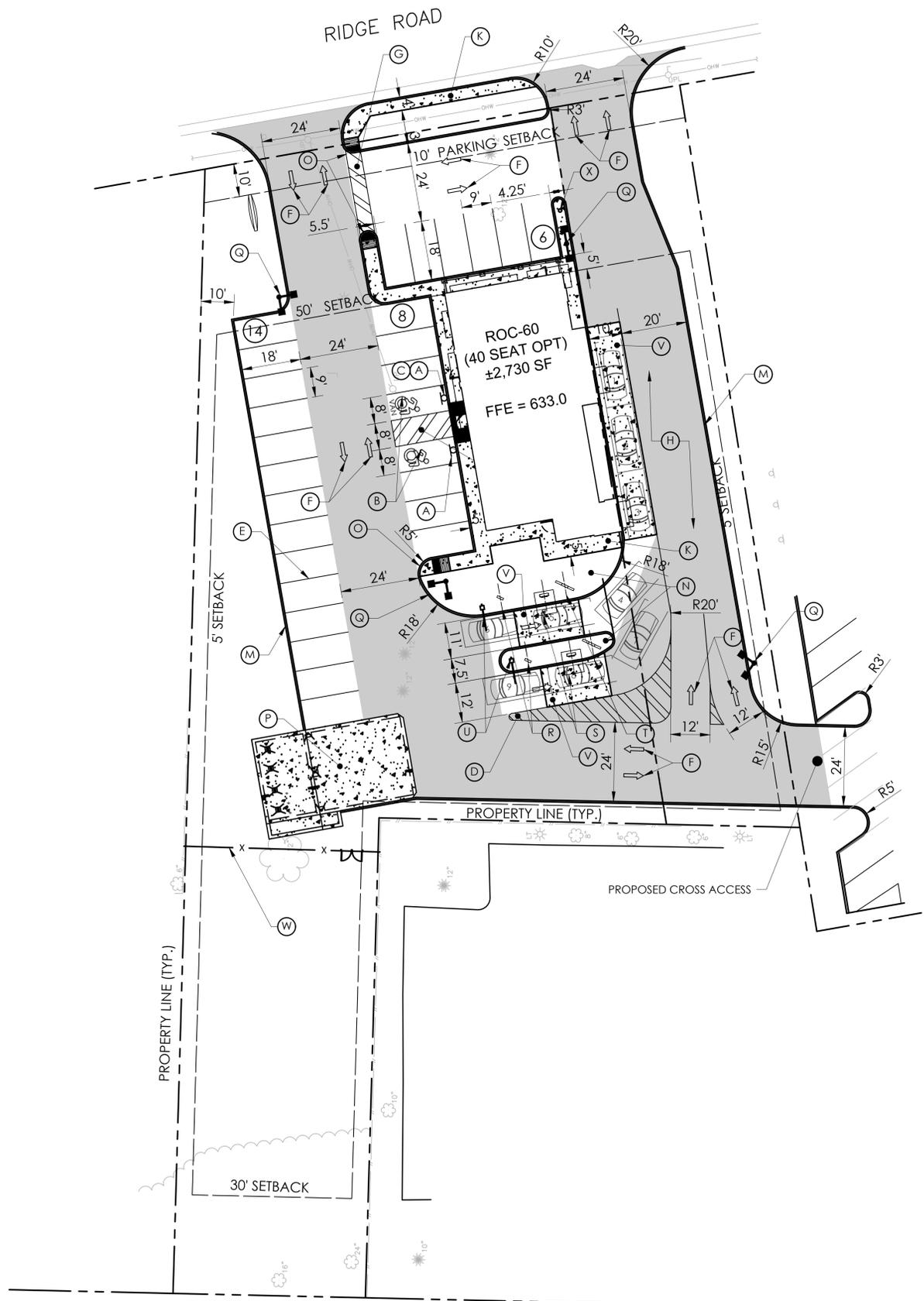


**Burger King Store #:**  
 S.B.L. No. 143.06-1-11, 12, & 13  
 1997, 2003, & 2007 Ridge Road  
 West Seneca, NY 14224  
 Erie County (Town of West Seneca)  
**Project Name & Location:**

**Overall Site Plan**  
 Drawing Name:  
 Date: 04/19/21 Project No. 21-0239  
 Type:  
 Drawn By: SAS C2  
 Scale: 1"=20' Drawing No.

<b>SITE DATA:</b>	
LOCAL JURISDICTION:	TOWN OF WEST SENECA
ZONING CLASSIFICATION:	C-2 (S) - COMMERCIAL *REZONED AT 1/20/22 TOWN BOARD MEETING
PERMITTED USES:	SPECIAL USE PERMIT TO ALLOW OPERATION AS A EATING OR DRINKING ESTABLISHMENTS, PROVIDED THAT ANY ENTERTAINMENT SHALL BE LIMITED TO TELEVISION, RADIO OR RECORDED MUSIC, AND FURTHER PROVIDED THAT NO SALES OF ALCOHOLIC BEVERAGES FOR CONSUMPTION ON THE PREMISES SHALL BE PERMITTED ON ANY LOT WHERE A SIDE LOT ABUTS ANY R DISTRICT BOUNDARY.
OWNER:	MARK A. LORENZ, SR. (CURRENT), GLR HOLDINGS, LLC (CURRENT) JSC MANAGEMENT GROUP, LLC (UNDER CONTRACT)
PROPERTY ACREAGE:	1.000+/- ACRES PER 8/12/2021 SURVEY

BULK REQUIREMENTS	REQUIRED	PROPOSED	VARIANCE
FRONT YARD	40 FT MINIMUM + 10 FEET	50 FT	NO
REAR YARD	10 FT; IF REAR YARD ABUTS R DISTRICT BOUNDARIES, THE REAR YARD SHALL BE 30 FT OR A DISTANCE EQUAL TO THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS GREATER.	± 235 FT	NO
SIDE YARD	5 FT, IF SIDE YARD ABUTS AN R DISTRICT ZONE, MINIMUM REQUIRED FOR SIDE YARDS FOR MULTIFAMILY DWELLING/MIXED OCCUPANCY IN THE ABUTTING R DISTRICT (5 FT FOR SINGLE FAMILY).	± 36 FT	NO
MINIMUM LOT AREA	900 SF	± 43,550 SQ FT	NO
MINIMUM LOT FRONTAGE	50 FT	± 147 FT	NO
MAXIMUM BUILDING COVERAGE	50% (43,550 SQ FT)	± 6.3%	NO
MAXIMUM BUILDING HEIGHT	40 FT	24 FT	NO
INGRESS/EGRESS MINIMUM DRIVE WIDTH	A 30 FT DRIVE FOR INGRESS / EGRESS SHALL BE PROVIDED FOR ALL MULTIFAMILY AND SPECIAL DEVELOPMENTS OR 20 FT MIN. FOR SEPARATE INGRESS / EGRESS DRIVES.	24 FT & 24 FT	NO
PARKING REQUIREMENT	3 SPACES FOR EACH 5 SEATS (40 SEATS = 24 SPACES)	28 SPACES	NO
PARKING STALL WIDTH	9 FT MIN	9 FT	NO
PARKING STALL LENGTH	18 FT MIN	18 FT	NO
MINIMUM STACKING REQUIREMENTS	5 SPACES PER BOOTH / SERVICE WINDOW	9 SPACES	NO
OFF-STREET PARKING SETBACK (PAVEMENT)	NO OPEN OFF-STREET PARKING SPACE WITHIN 10 FT OF ANY STREET LINE OR ANY R DISTRICT BOUNDARY.	3' (N)	YES



**SITE LEGEND:**

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (D) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (E) SYSL/4" PARKING STALL STRIPING
- (F) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (G) PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- (H) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (I) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (J) EDGE OF PAVEMENT
- (K) CONCRETE SIDEWALK (REFER TO DETAIL)
- (L) TRANSFORMER PAD, INSTALL PER ELECTRIC COMPANY REQUIREMENTS. INCLUDE BOLLARDS AS NECESSARY.
- (M) CONCRETE CURB (REFER TO DETAIL)
- (N) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (O) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (P) DUMPSTER LOCATION (REFER TO ARCH. PLAN DETAIL)
- (Q) LIGHT POLE (REFER TO DETAIL)
- (R) OPTIONAL PREVIEW BOARD (REFER TO DETAIL)
- (S) ORDER CONFIRMATION UNIT (REFER TO DETAIL)
- (T) MENU BOARD (REFER TO DETAIL)
- (U) CLEARANCE BAR (REFER TO DETAIL)
- (V) CONCRETE PAD FOR DRIVE-THRU LANE (REFER TO DETAIL)
- (W) 6' BOARD ON BOARD FENCE WITH 6' GATE
- (X) FLAG POLE - EDER FLAG OF OAK CREEK, WI AND MODEL ECH35 (REFER TO BUILDING PLANS FOR ADDITIONAL DETAILS)



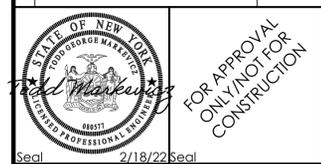
**REFERENCE:**  
 1. 4775 1997-2003 RIDGE RD BURGER KING.DWG, SHEET NUMBER 1, LAST REVISED ON 12/13/2021, PREPARED BY FRANDINA ENGINEERING AND LAND SURVEYING, PC

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB / FACE OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- TRANSFORMER PAD
- CONCRETE SIDEWALK/PAD (REFER TO DETAILS)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING
- FENCE

Issued:	Date:
A	
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Revisions:	Date:
1 Revised per Town Comments	02/18/22
2	
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Seal 2/18/22 Seal  
 CIVIL ENGINEER OF RECORD  
 Name: Todd G. Markevicz  
 New York License No.: 080577  
 Exp. Date: November 30, 2023  
 Firm Reg. No.: 0014815  
 Exp. Date: December 31, 2023

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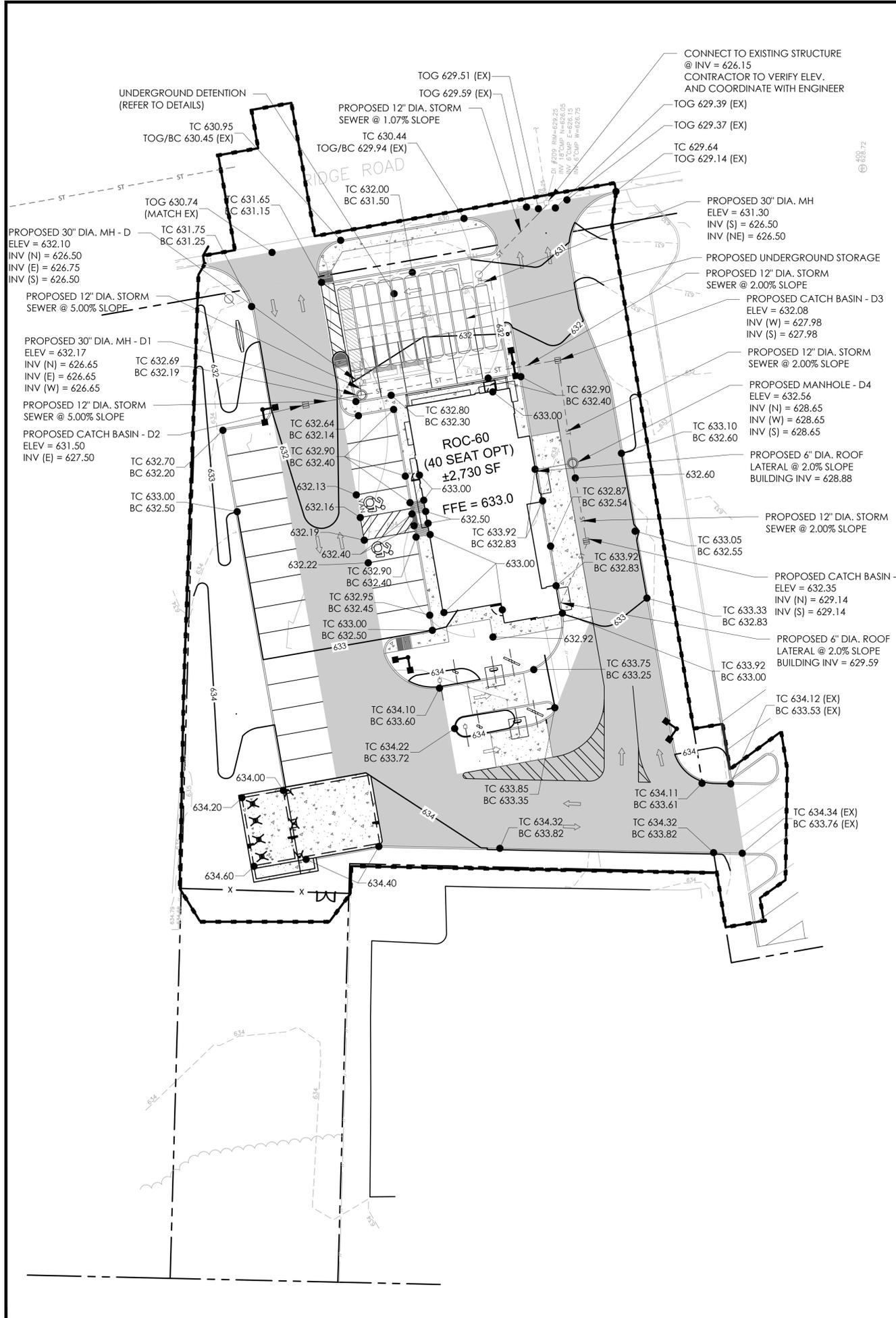


**Burger King Store #:**  
 S.B.L. No. 143.06-1-11, 12, & 13  
 1997, 2003, & 2007 Ridge Road  
 West Seneca, NY 14224  
 Erie County (Town of West Seneca)  
 Project Name & Location:

**Site Plan**  
 Drawing Name:  
 Date: 04/19/21 Project No. 21-0239  
 Type:  
 Drawn By: SAS C2.1  
 Scale: 1"=20' Drawing No.

<b>SITE DATA:</b>	
LOCAL JURISDICTION:	TOWN OF WEST SENECA
ZONING CLASSIFICATION:	C-2 (S) - COMMERCIAL *REZONED AT 1/20/22 TOWN BOARD MEETING
PERMITTED USES:	SPECIAL USE PERMIT TO ALLOW OPERATION AS A EATING OR DRINKING ESTABLISHMENTS, PROVIDED THAT ANY ENTERTAINMENT SHALL BE LIMITED TO TELEVISION, RADIO OR RECORDED MUSIC, AND FURTHER PROVIDED THAT NO SALES OF ALCOHOLIC BEVERAGES FOR CONSUMPTION ON THE PREMISES SHALL BE PERMITTED ON ANY LOT WHERE A SIDE LOT ABUTS ANY R DISTRICT BOUNDARY.
OWNER:	MARK A. LORENZ, SR. (CURRENT), GLR HOLDINGS, LLC (CURRENT) JSC MANAGEMENT GROUP, LLC (UNDER CONTRACT)
PROPERTY ACREAGE:	1.000+/- ACRES PER 8/12/2021 SURVEY

BULK REQUIREMENTS	REQUIRED	PROPOSED	VARIANCE
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REAR YARD	10 FT; IF REAR YARD ABUTS R DISTRICT BOUNDARIES, THE REAR YARD SHALL BE 30 FT OR A DISTANCE EQUAL TO THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS GREATER.	± 235 FT	NO
SIDE YARD	5 FT. IF SIDE YARD ABUTS AN R DISTRICT ZONE, MINIMUM REQUIRED FOR SIDE YARDS FOR MULTIFAMILY DWELLING/MIXED OCCUPANCY IN THE ABUTTING R DISTRICT (5 FT FOR SINGLE FAMILY).	± 36 FT	NO
MINIMUM LOT AREA	900 SF	± 43,550 SQ FT	NO
MINIMUM LOT FRONTAGE	50 FT	± 147 FT	NO
MAXIMUM BUILDING COVERAGE	50% (43,550 SQ FT)	± 6.3%	NO
MAXIMUM BUILDING HEIGHT	40 FT	24 FT	NO
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- ABBREVIATION**
- AC - ASPHALT CONCRETE
  - LF - LINEAR FEET
  - SF - SQUARE FEET
  - DIA - DIAMETER
  - INV - INVERT
  - CPP - CORRUGATED POLYETHYLENE PIPE (SMOOTHED LINE)
  - HDPE - HIGH DENSITY POLYETHYLENE PIPE
  - PVC - POLYVINYL CHLORIDE
  - TG - TOP OF GRATE
  - GE - GROUND ELEVATION
  - TOG - TOP OF GUTTER
  - TC - TOP OF CURB
  - BC - BOTTOM OF CURB/EDGE OF PAVEMENT
  - HP - HIGH POINT
  - F.F.E. - FINISH FLOOR ELEVATION
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL

0 10 20 40 60  
Graphic Scale: 1"=20'

AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

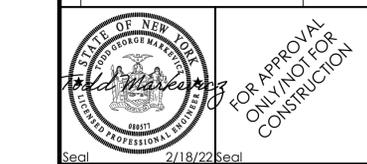
**REFERENCE:**

1. 4775 1997-2003 RIDGE RD BURGER KING.DWG, SHEET NUMBER 1, LAST REVISED ON 12/13/2021, PREPARED BY FRANDINA ENGINEERING AND LAND SURVEYING, PC

- LEGEND OF IMPROVEMENTS**
- SUBJECT PARCEL PROPERTY LINE
  - PROPOSED BUILDING
  - E --- UNDERGROUND ELECTRIC
  - T --- UNDERGROUND TELEPHONE
  - G --- GAS SERVICE
  - W --- WATER SERVICE
  - C/O SA --- SANITARY SEWER LATERAL & CLEANOUT
  - UD --- UNDERDRAIN
  - ST --- STORM LATERAL
  - S --- STORM SEWER & STRUCTURES
  - LIGHT POLES
  - TC 895.50  
X BC 895.50  
TW 895.50
  - 895 --- CONTOUR
  - LOD --- LIMIT OF DISTURBANCE

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Revisions:	Date:
1 Revised per Town Comments	02/18/22
2	
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Civil Engineer of Record  
Name: Todd G. Markevicz  
New York License No.: 080577  
Exp. Date: November 30, 2023  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2023

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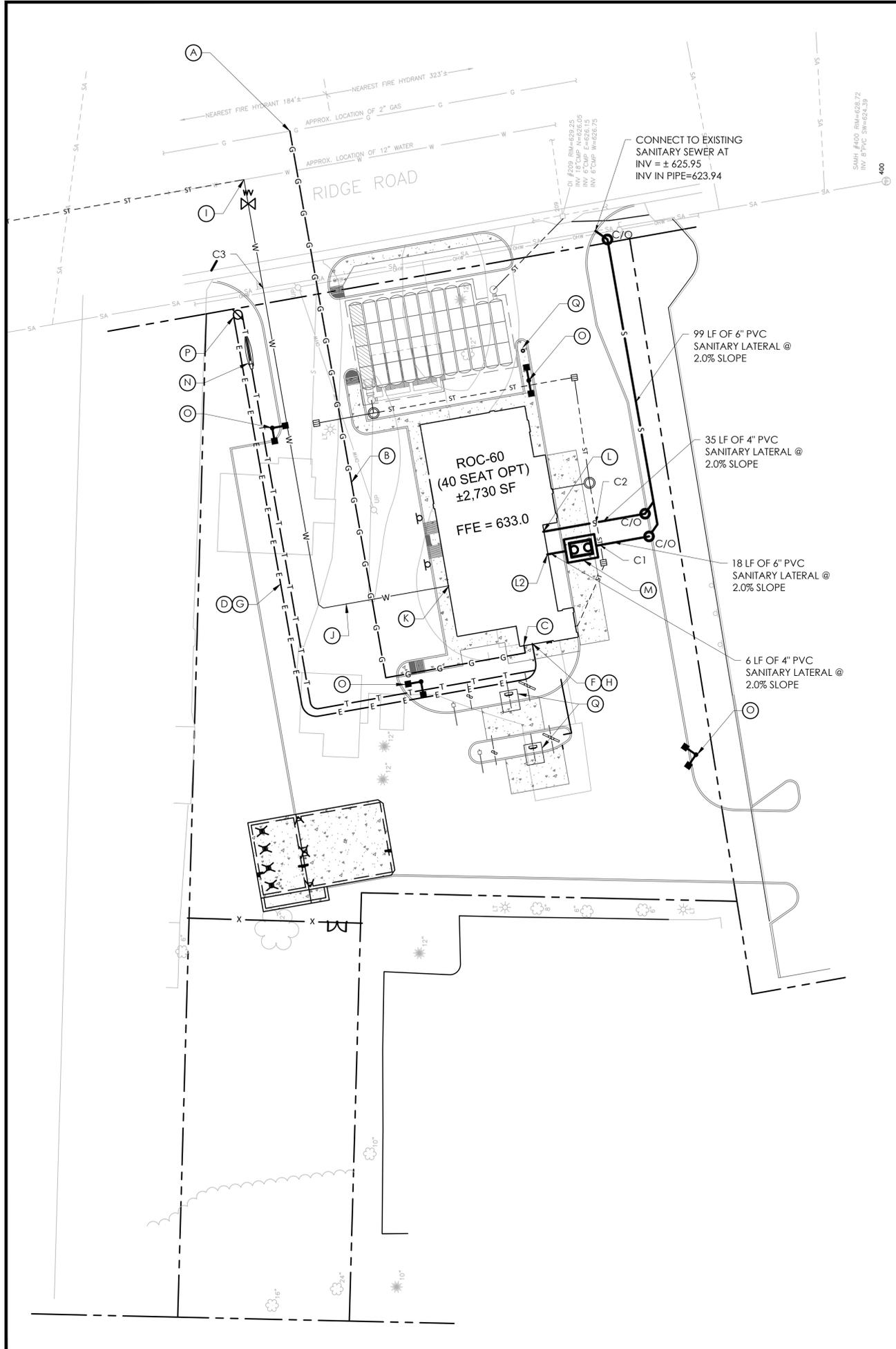
**APD ENGINEERING ARCHITECTURE**  
615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

**Burger King**  
JSC MANAGEMENT GROUP  
ATTN: JAMES CAMILLERI  
BURGER KING FRANCHISEE  
585.755.3950

**Burger King Store #:**  
S.B.L. No. 143.06-1-11, 12, & 13  
1997, 2003, & 2007 Ridge Road  
West Seneca, NY 14224  
Erie County (Town of West Seneca)  
Project Name & Location:

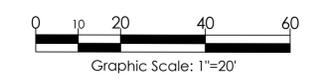
<b>Grading &amp; Drainage Plan</b>	
Drawing Name:	
Date: 04/19/21	Project No. 21-0239
Type:	C3
Drawn By: SAS	Drawing No.
Scale: 1"=20'	





**UTILITY LEGEND:**

- (A) CONNECTION TO EXISTING GAS MAIN. CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR INSTALLATION AND FINAL CONNECTION
- (B) 2" UNDERGROUND GAS SERVICE
- (C) GAS METER AND SERVICE ENTRY
- (D) UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY FOR FINAL CONNECTION AND INSTALL CONDUIT AND REQUIRED PULL BOXES PER THEIR REQUIREMENTS
- (E) PAD-MOUNTED ELECTRIC TRANSFORMER. CONTRACTOR SHALL COORDINATE EXACT LOCATION, SIZE, INSTALLATION, AND PROTECTION OF TRANSFORMER WITH ELECTRIC COMPANY.
- (F) ELECTRIC METER AND SERVICE ENTRY.
- (G) UNDERGROUND TELEPHONE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY AND INSTALL CONDUIT AND REQUIRED PULL BOXES PER THEIR REQUIREMENTS
- (H) TELEPHONE SERVICE ENTRY
- (I) CONNECT TO EXISTING 12" CAST IRON WATER MAIN WITH TAPPING SLEEVE AND VALVE
- (J) 2" TYPE K DOMESTIC WATER SERVICE
- (K) DOMESTIC WATER SERVICE ENTRY
- (L) 4" SANITARY SERVICE ENTRY @ INV = 628.50 WITH CLEAN-OUT. REFER TO BUILDING PLANS
- (L2) 4" SANITARY SERVICE ENTRY @ INV = 628.83 WITH CLEAN-OUT. REFER TO BUILDING PLANS
- (M) 1200 GALLON GREASE INTERCEPTOR (REFER TO DETAIL) INV. IN = 628.71, INV. OUT = 628.50
- (N) PROVIDE ELECTRIC TO ILLUMINATED SIGN
- (O) LIGHT POLE (REFER TO SITE PLAN)
- (P) PROPOSED UTILITY POLE, COORDINATE WITH ELECTRIC COMPANY
- (Q) SEE BUILDING ELECTRICAL PLAN FOR CONDUIT ROUTING AND WIRING TO FLAG POLE, DRIVE-THRU EQUIPMENT, ETC.



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

**REFERENCE:**  
 1. 4775 1997-2003 RIDGE RD BURGER KING.DWG, SHEET NUMBER 1, LAST REVISED ON 12/13/2021, PREPARED BY FRANDINA ENGINEERING AND LAND SURVEYING, PC

**LEGEND OF IMPROVEMENTS**

- SUBJECT PARCEL PROPERTY LINE
- PROPOSED BUILDING
- E—E— UNDERGROUND ELECTRIC
- T—T— UNDERGROUND TELEPHONE
- G—G— GAS SERVICE
- W—W— WATER SERVICE
- C/O—S— SANITARY SEWER LATERAL & CLEANOUT
- ST--- STORM LATERAL
- S—S— STORM SEWER & STRUCTURES
- L--- LIGHT POLES

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Revisions:	Date:
1 Revised per Town Comments	02/18/22
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CIVIL ENGINEER OF RECORD  
 Name: Todd G. Markevicz  
 New York License No.: 080577  
 Exp. Date: November 30, 2023  
 Firm Reg. No.: 0014815  
 Exp. Date: December 31, 2023

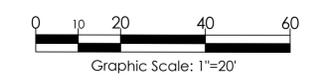
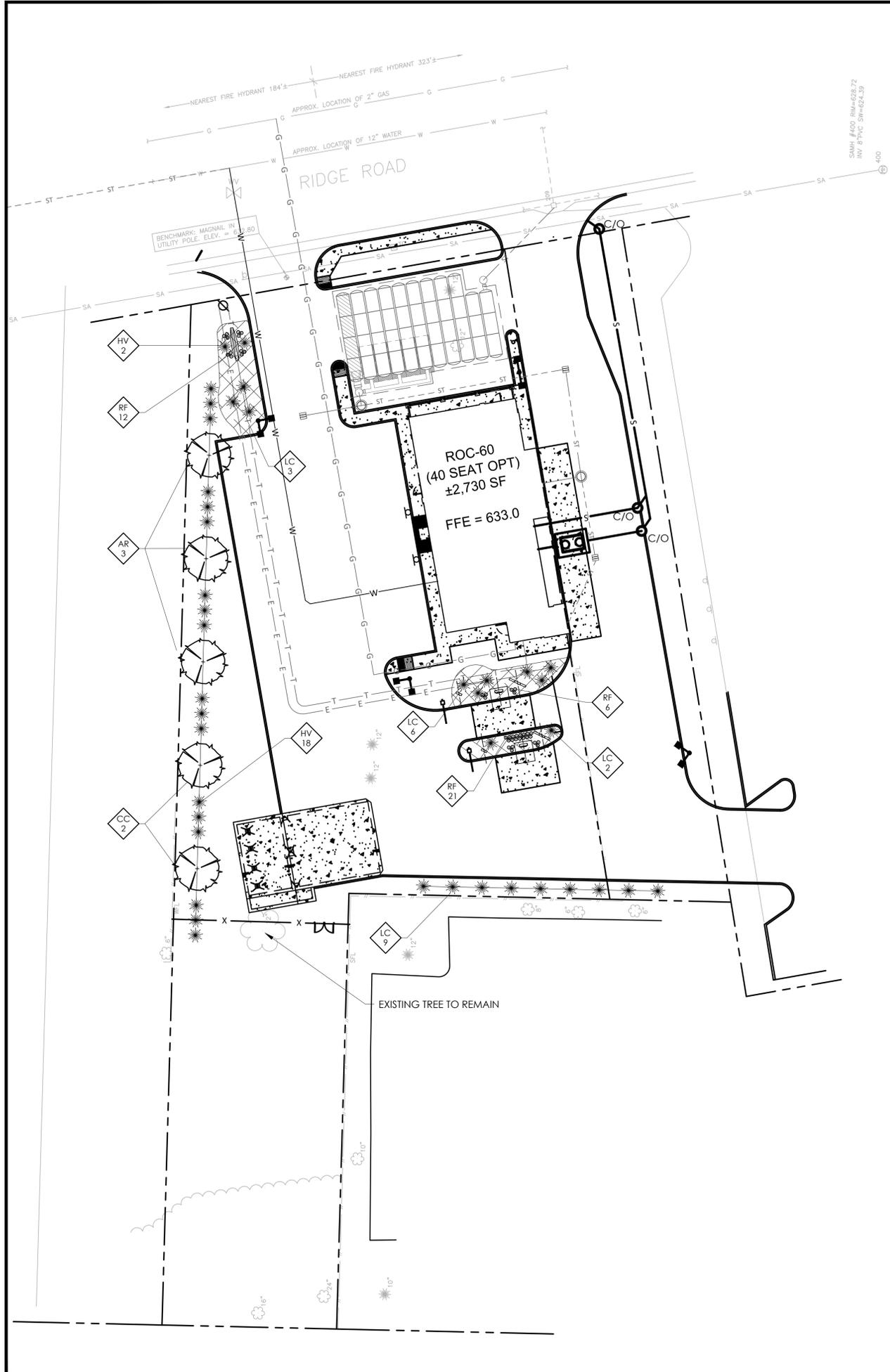
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 S.B.L. No. 143.06-1-11, 12, & 13  
 1997, 2003, & 2007 Ridge Road  
 West Seneca, NY 14224  
 Erie County (Town of West Seneca)  
**Project Name & Location:**

Utility Plan	
Drawing Name:	Project No.
Date: 04/19/21	21-0239
Type:	
Drawn By: SAS	C4
Scale: 1"=20'	Drawing No.



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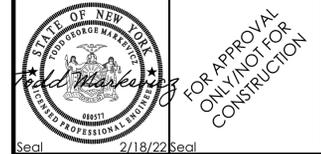
**REFERENCE:**  
 1. 4775 1997-2003 RIDGE RD BURGER KING.DWG, SHEET NUMBER 1, LAST REVISED ON 12/13/2021, PREPARED BY FRANDINA ENGINEERING AND LAND SURVEYING, PC

**LEGEND OF IMPROVEMENTS**

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- W — W — WATER SERVICE
- C/O — SA — SANITARY SEWER LATERAL & CLEANOUT
- ST --- STORM LATERAL
- STORM SEWER & STRUCTURES
- LIGHT POLES
- ⊗ ⊙ \* SHRUBS/BUSHES
- ⊗ DECIDUOUS TREE

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Revisions:	Date:
1 Revised per Town Comments	02/18/22
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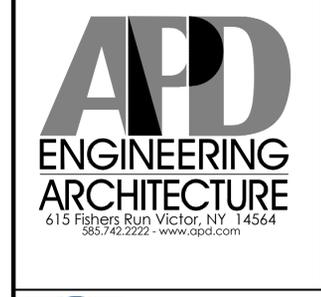


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 Firm Reg. No.: 0014815  
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 1997, 2003, & 2007 Ridge Road  
 West Seneca, NY 14224  
 Erie County (Town of West Seneca)  
 Project Name & Location:

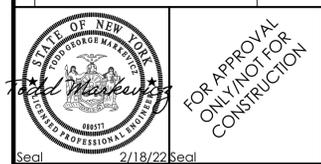
Planting and Lighting Plan  
 Drawing Name:  
 Date: 04/19/21  
 Type:  
 Drawn By: SAS  
 Scale: 1"=20'

Project No.  
 21-0239  
 C5  
 Drawing No.

PLANT LIST						
QUANT.	KEY	LATIN NAME	COMMON NAME	CAL.	ROOTS	HT. OR. SP
20	HV	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL		#5 CONT.	18" SP, 5' O.C.
20	LC	LOBELIA CARDINALIS (ZONES 4, 5, 6)	CARDINAL FLOWER		#2 CONT.	6' SP, 24" O.C.
2	CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5"	B&B	20' HT, 20' O.C.
3	AR	ACER RUBRUM	RED MAPLE	2.5"	B&B	15' HT, 10' O.C.
39	RF	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN		#2 CONT.	24" O.C.

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Revisions:	Date:
1 Revised per Town Comments	02/18/22
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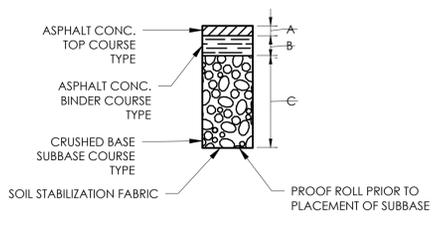
Seal 2/18/22 Seal  
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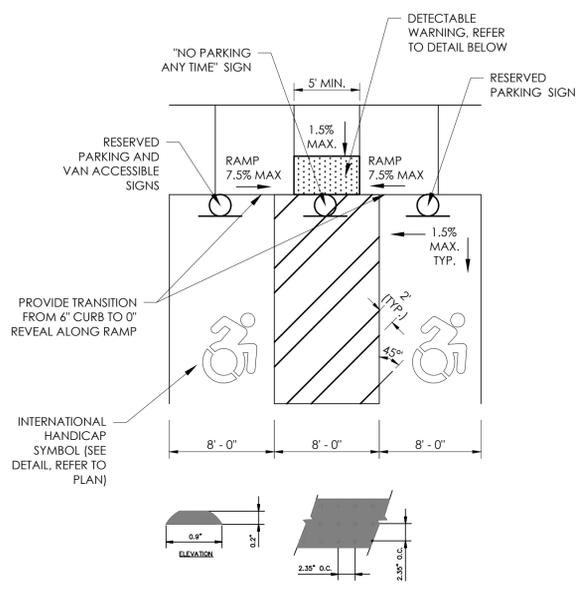
Details Sheet  
 Drawing Name:  
 Date: 04/19/21 Project No. 21-0239  
 Type:  
 Drawn By: SAS C6  
 Scale: N.T.S. Drawing No.



	REGULAR DUTY	HEAVY DUTY
A	TBD	TBD
B	TBD	TBD
C	TBD	TBD

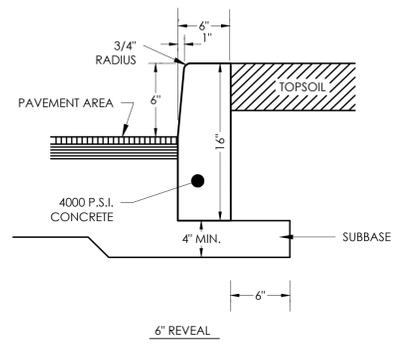
NOTES:  
 1. PAVEMENT SECTIONS ARE PROVIDED BASED ON THE GEOTECHNICAL ENGINEERING REPORT PROVIDED BY PENDING.

**PAVING SECTION DETAIL**  
 N.T.S.



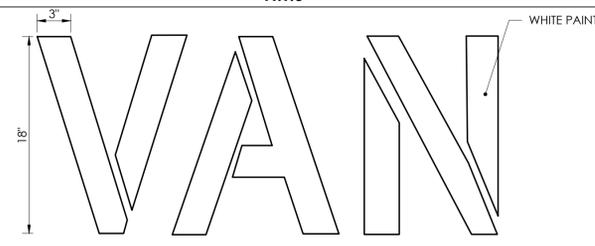
NOTE:  
 1. REFER TO SITE PLAN FOR ACCESSIBLE PARKING STRIPING LAYOUT.  
 2. ALL SIDEWALK, RAMPS, LANDING AREAS, DETECTABLE WARNING, ETC. ALONG THE ACCESSIBLE PATH SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.  
 3. CONTRACTOR TO REFER TO THE GRADING AND DRAINAGE PLAN FOR SLOPES.  
 3.A. CROSS SLOPES FOR SIDEWALKS AND RAMPS SHALL BE 1.5% AT A MAXIMUM.  
 3.B. RUNNING SLOPES FOR SIDEWALKS SHALL BE 4.5% AT A MAXIMUM.  
 3.C. RUNNING SLOPES FOR RAMPS SHALL BE AT 7.5% MAXIMUM.  
 3.D. SLOPES FOR ADA PARKING STALLS AND UNLOADING BAYS SHALL BE 1.5% AT A MAXIMUM.  
 4. SIGNS TO BE PLACED IN CENTER OF PARKING STALL OR UNLOADING BAY (IF APPLICABLE) WHENEVER POSSIBLE. SHIFT "NO PARKING ANYTIME" SIGN SLIGHTLY OFF CENTER TO MAINTAIN THE MINIMUM OF 32" CLEAR SPACE REQUIRED IN ACCORDANCE WITH ADA REQUIREMENTS.

**ACCESSIBLE PARKING DETAIL**  
 N.T.S.

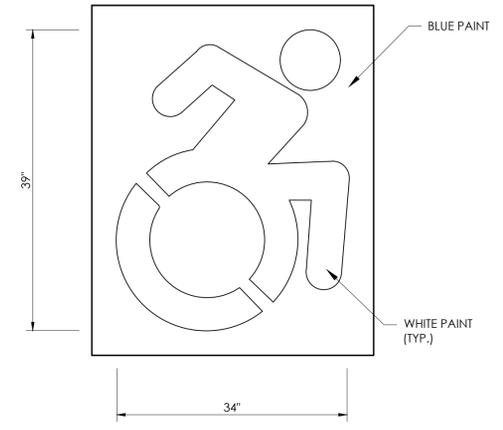


NOTES:  
 1. CONTROL JOINTS 10 FEET ON CENTER TO DEPTH OF 1/2 THE CURB THICKNESS  
 2. EXPANSION JOINTS WITH PREMOLDED FILLER 50 FEET ON CENTER

**CONCRETE CURB DETAIL**  
 N.T.S.

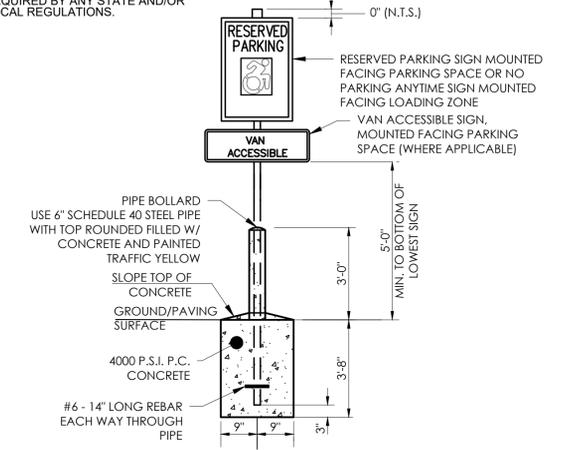


**VAN ACCESSIBLE PARKING DETAIL**  
 N.T.S.

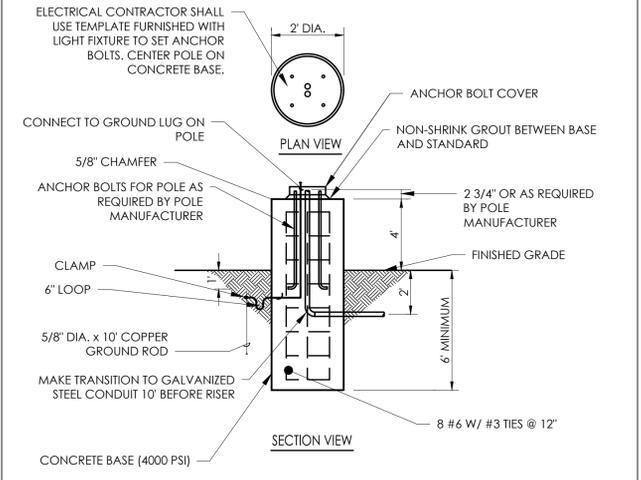


**ACCESSIBLE PARKING STRIPING DETAIL (NYS)**  
 N.T.S.

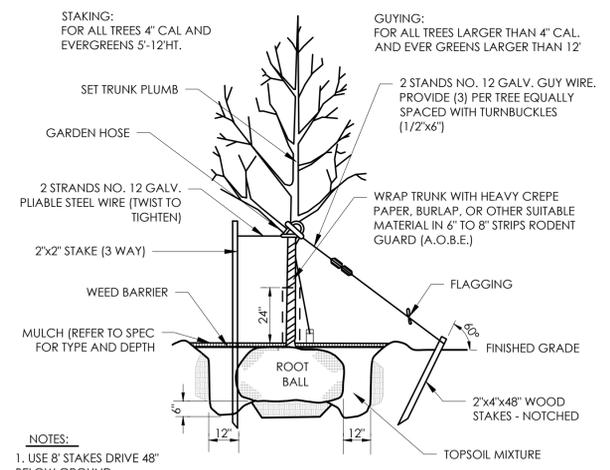
NOTES:  
 1. CONTRACTOR SHALL REVIEW ALL FEDERAL, STATE, AND LOCAL CODE AND PROVIDE SIGNAGE IN ACCORDANCE WITH ALL ADA REQUIREMENTS. THIS DETAIL IS PROVIDED FOR GENERAL GUIDANCE ONLY.  
 2. ANY REQUIRED "FINE" SIGNS SHALL BE PROVIDED ON POST AS REQUIRED BY ANY STATE AND/OR LOCAL REGULATIONS.



**ACCESSIBLE SIGN POST INSTALLATION DETAIL**  
 N.T.S.

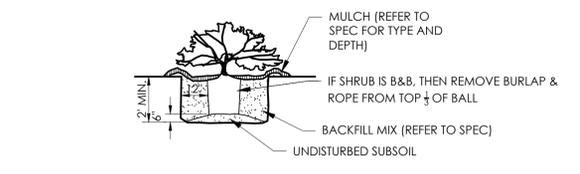


**LIGHTING STANDARD DETAIL**  
 N.T.S.

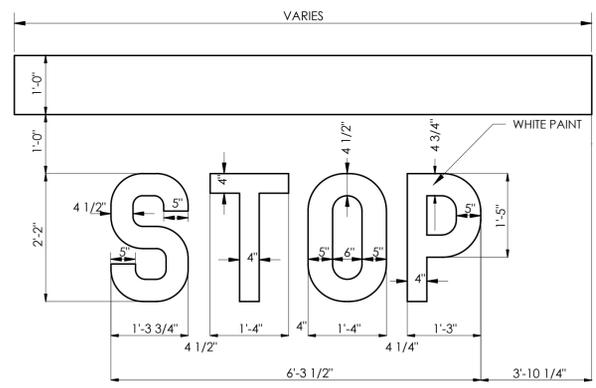


NOTES:  
 1. USE 8" STAKES DRIVE 48" BELOW GROUND.  
 2. ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.

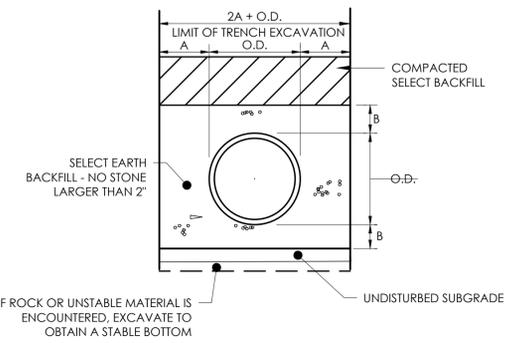
**TREE PLANTING DETAIL**  
 N.T.S.



**SHRUB PLANTING DETAIL**  
 N.T.S.

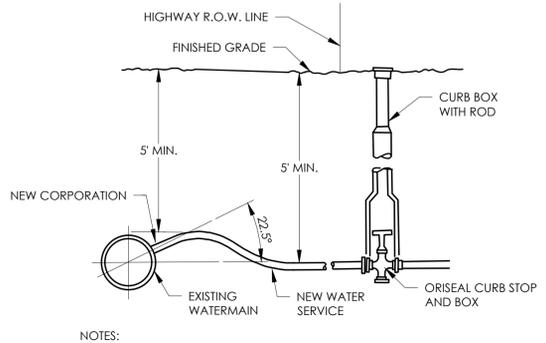


**PARKING LOT DRIVE AISLE STOP BAR DETAIL**  
 N.T.S.



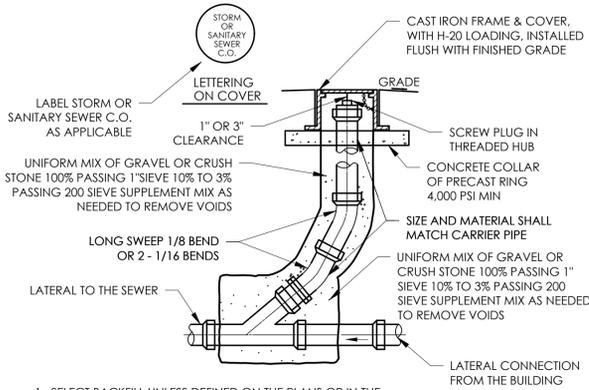
PIPE DIA. (INCHES)	A (INCHES)	B (INCHES)
UP TO 18	12	6
21 TO 36	12	9
OVER 36	18	12

**WATER TRENCH DETAIL**  
N.T.S.



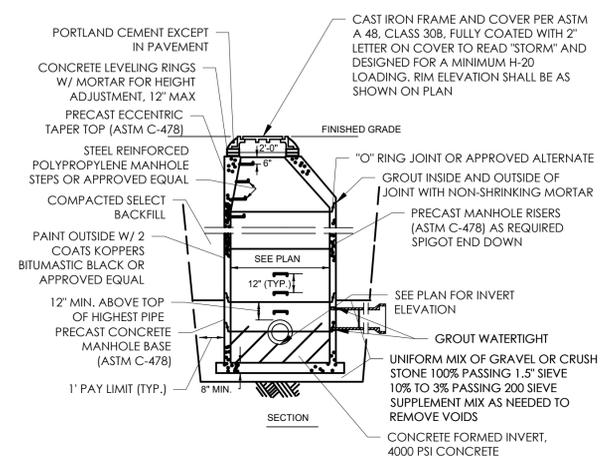
- NOTES:
1. TYPE K VIRGIN COPPER-ASTM SPEC. B88 (LATEST REVISION) OR PE 3408 SDR-9-ASTM D2737 -200 PSI WITH #10 SOLID COPPER TRACING WIRE.
  2. NEW WATER SERVICE LATERAL TO BE A SIZE AND TYPE AS APPROVED BY THE LOCAL WATER SUPPLIER.
  3. TRACING WIRE TO BE WRAPPED AROUND CURB STOP AND CORPORATION FOR POLYETHYLENE SERVICE ONLY.
  4. ALL WATER TAPS SHALL BE COORDINATED WITH OR PERFORMED BY THE LOCAL WATER AUTHORITY.

**WATER SERVICE INSTALLATION DETAIL**  
N.T.S.



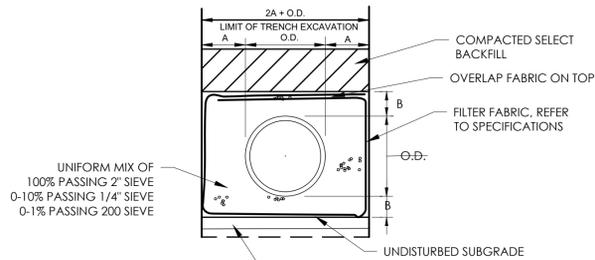
1. SELECT BACKFILL UNLESS DEFINED ON THE PLANS OR IN THE SPECIFICATIONS SHALL MEAN ON-SITE OR IMPORTED BACKFILL MEETING THE REQUIRED SPECIFICATIONS, ASTM 2321 WITH THE ADDED REQUIREMENT OF NO MATERIAL HAVING A DIMENSION EXCEEDING 4 INCHES.
2. IF CLEAN STONE BEDDING IS USED THE BEDDING SHALL BE ENCRICLED WITH FILTER FABRIC TO PREVENT SOILS FROM ENTERING THE VOIDS OF THE STONE.
3. THIS DETAIL APPLIES TO BOTH SANITARY AND STORM.
4. CLEANOUTS SHALL BE SPACED NO MORE THAN 90' APART.

**SEWER CLEANOUT DETAIL**  
N.T.S.

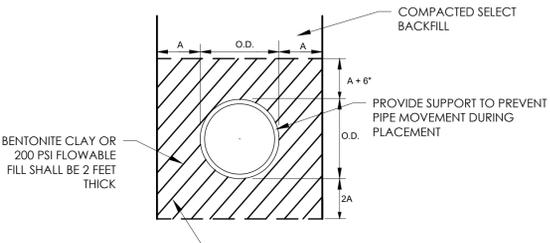


1. SELECT BACKFILL UNLESS DEFINED ON THE PLANS OR IN THE SPECIFICATIONS SHALL MEAN ON-SITE OR IMPORTED BACKFILL MEETING THE REQUIRED SPECIFICATIONS, ASTM 2321 FOR WELL GRADED MATERIAL WITH THE ADDED REQUIREMENT OF NO MATERIAL HAVING A DIMENSION EXCEEDING 3 INCHES.

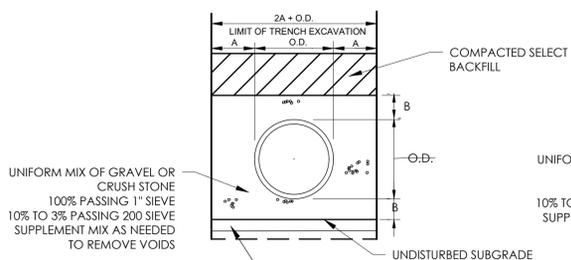
**STORM MANHOLE DETAIL**  
N.T.S.



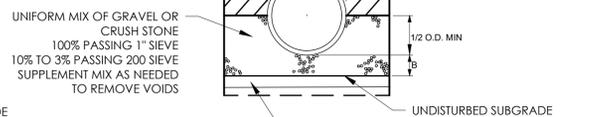
**PERFORATED STORM ENCASEMENT**



**ANTI-SEEPAGE COLLAR**  
MUST BE PLACED WHEN HOLE IS CLEAN AND DRY AND ALLOWED TO CURE IN SINGLE PLACEMENT.



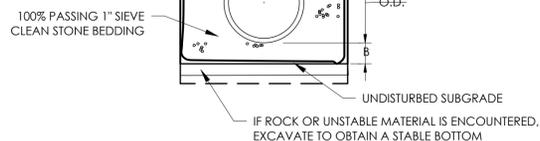
**STORM ENCASEMENT**



**SANITARY BEDDING**

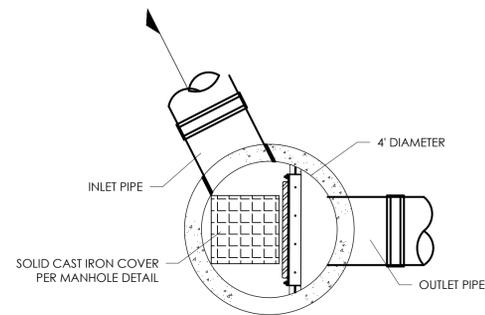
PIPE DIA. (INCHES)	A (INCHES)	B (INCHES)
Up to 18	12	6
21 to 36	12	9
Over 36	18	12

- NOTES:
1. SELECT BACKFILL UNLESS DEFINED ON THE PLANS OR IN THE SPECIFICATIONS SHALL MEAN ON-SITE OR IMPORTED BACKFILL MEETING THE REQUIRED SPECIFICATIONS, ASTM 2321 FOR WELL GRADED MATERIAL WITH THE ADDED REQUIREMENT OF NO MATERIAL HAVING A DIMENSION EXCEEDING 3 INCHES.
  2. IF CLEAN STONE BEDDING IS USED THE BEDDING SHALL BE ENCRICLED WITH FILTER FABRIC TO PREVENT SOILS FROM ENTERING THE VOIDS OF THE STONE.
  3. [REVIEW/UPDATE ON PROJECT SPECIFIC BASIS] ANTI-SEEPAGE COLLARS SHALL BE PROVIDED AT PROJECT LIMIT/PROPERTY LINE AND EVERY 1 FOOT ELEVATION DIFFERENCE ALONG SANITARY PIPE AND AT LEAST TWO ALONG STORM OUTLET PIPES THAT ARE PLACED IN DIKES OR BASIN RETAINMENT AREAS.

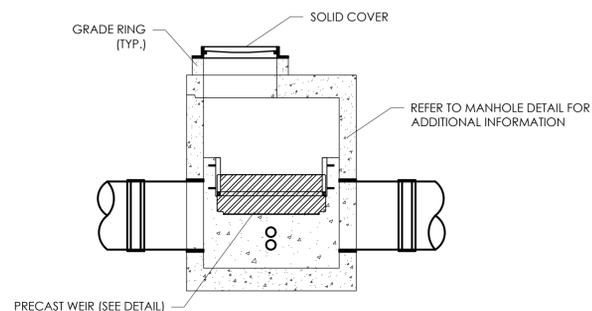


**OPTIONAL STORM AND SANITARY ENCASEMENT WHEN USING CLEAN STONE**

**PIPE BEDDING DETAILS**  
N.T.S.



**OUTLET STRUCTURE - PLAN VIEW**

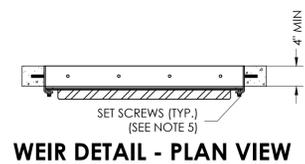


**OUTLET STRUCTURE - SECTION VIEW**

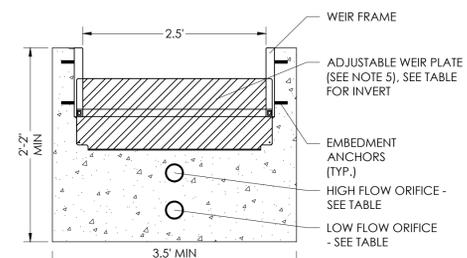
	OUTLET STRUCTURE
TOP OF RIM ELEVATION	631.30
LOW FLOW ORIFICE (SIZE/INVERT)	3" / 626.50
HIGH FLOW ORIFICE (SIZE/INVERT)	5" / 627.50
INLET PIPE (SIZE/INVERT)	12" / 626.50
OUTLET PIPE (SIZE/INVERT)	12" / 626.50
WEIR INVERT	628.75

**OUTLET STRUCTURE DETAIL**  
N.T.S.

- GENERAL NOTES**
- 1) STORMGATE BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; LINTHICUM, MD (866) 740-3318.
  - 2) PRECAST MANHOLE TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C478. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
  - 3) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
  - 4) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMGATE MANHOLE EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.
  - 5) CONTRACTOR TO ADJUST WEIR TO DESIGN ELEVATION SPECIFIED IN DATA TABLE BELOW. DO NOT EXCEED 5.0 FT-LBS TORQUE WHEN TIGHTENING SCREWS ON WEIR FRAME. SEAL WEIR TO FRAME WITH RTV SILICONE SEALANT AFTER FINAL ADJUSTMENT.



**WEIR DETAIL - PLAN VIEW**



**WEIR DETAIL - SECTION VIEW**

Issued: \_\_\_\_\_ Date: \_\_\_\_\_

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Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

1	Revised per Town Comments	02/18/22
2		
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Seal 2/18/22 Seal

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Name: Todd G. Markevitz  
New York License No.: 080577  
Exp. Date: November 30, 2023  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2023

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615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

**Burger King**  
JSC MANAGEMENT GROUP  
ATTN: JAMES CAMMILLERI  
BURGER KING FRANCHISEE  
585.755.3950

**Burger King** Store #: \_\_\_\_\_  
S.B.L. No. 143.06-1-11, 12, & 13  
1997, 2003, & 2007 Ridge Road  
West Seneca, NY 14224  
Erie County (Town of West Seneca)

Project Name & Location: \_\_\_\_\_

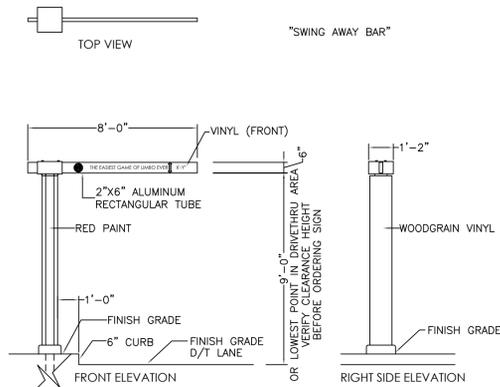
Drawing Name: \_\_\_\_\_

Date: 04/19/21 Project No. 21-0239

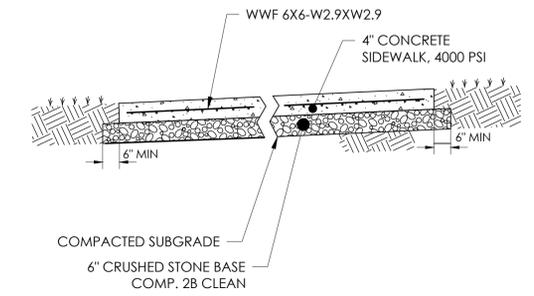
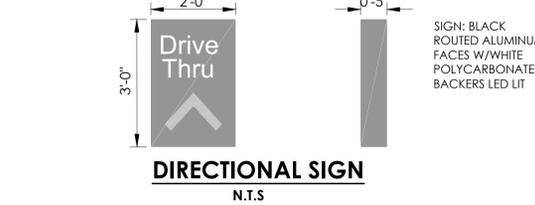
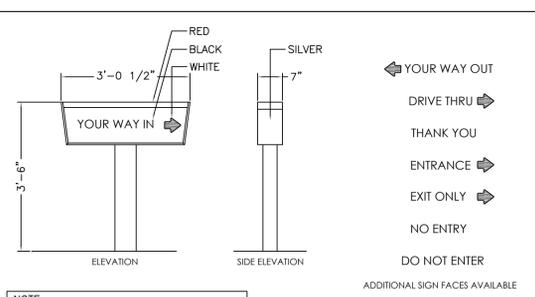
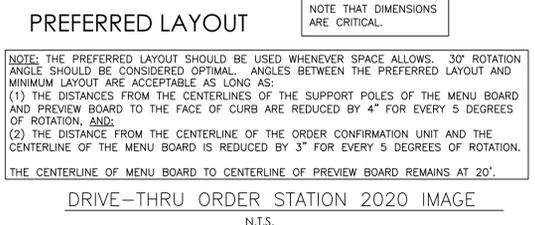
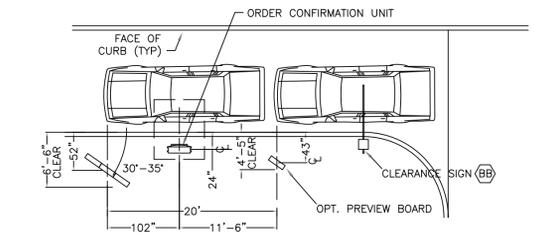
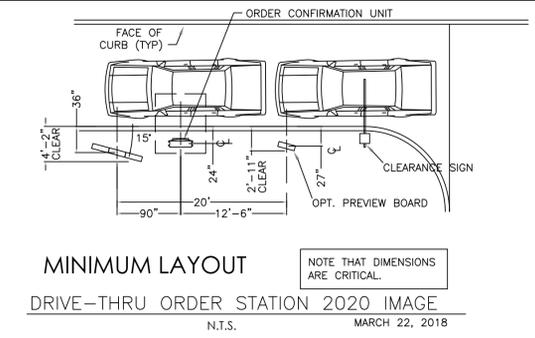
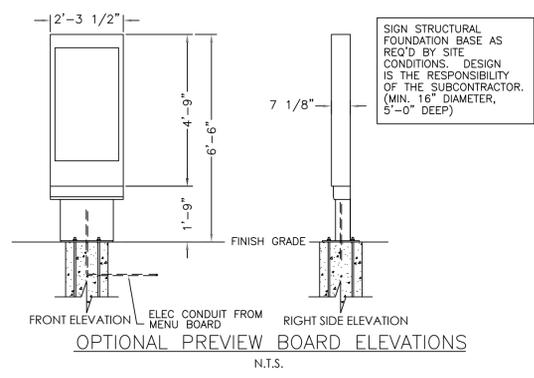
Type: \_\_\_\_\_

Drawn By: SAS C7

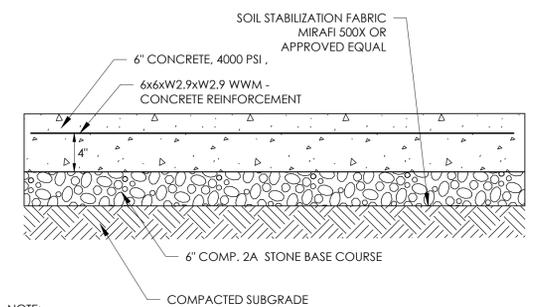
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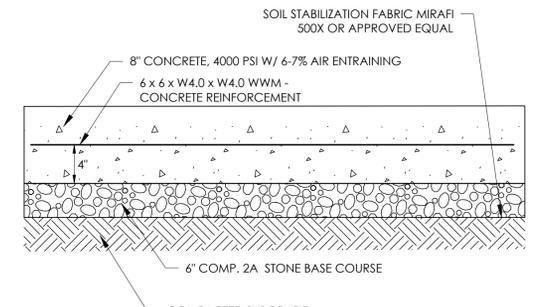
DRIVE-THRU CLEARANCE SIGN 2020 STANDARD IMAGE  
N.T.S. NOVEMBER 1, 2017



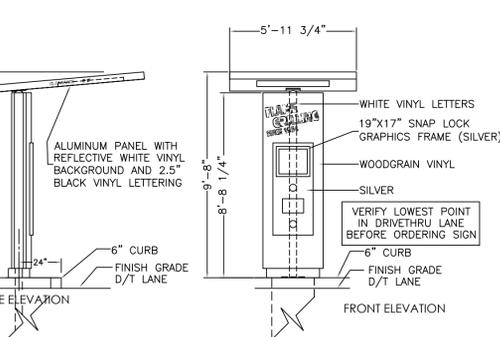
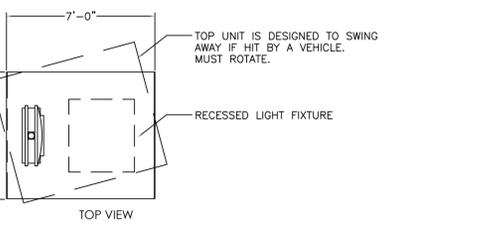
CONCRETE SIDEWALK DETAIL  
N.T.S.



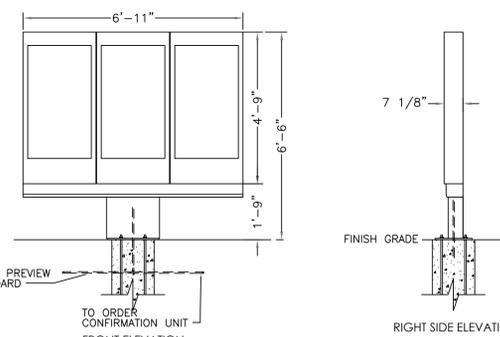
HEAVY DUTY CONCRETE (DRIVE THRU) DETAIL  
N.T.S.



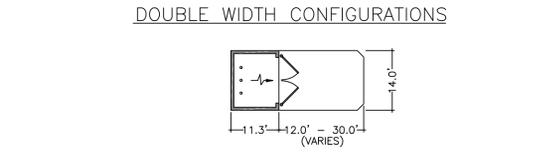
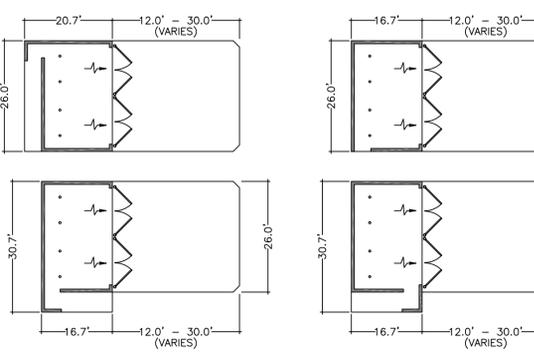
DUMPSTER PAD CONCRETE DETAIL  
N.T.S.



ORDER CONFIRMATION UNIT  
N.T.S.



MENUBOARD ELEVATIONS  
N.T.S.

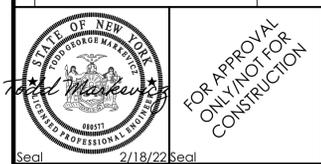


- NOTES:
- REFER TO DETAIL 13 - 13P
  - TRASH ENCLOSURE MUST CONFORM TO ALL BUILDING SETBACKS. (CHECK WITH LOCAL CODES.)
  - FLOOR DRAIN MAY BE REQUIRED (CHECK WITH LOCAL CODES.)
  - SLAB TO SLOPE 0.1' FROM BACK TO FRONT FOR DRAINAGE. IF FLOOR DRAIN IS REQUIRED, SLOPE TO GRATE MIN. 0.1' BELOW PERIMETER OF SLAB.
  - LOCATE PERSONNEL ACCESS (WHEN USED) SO THAT IT IS MOST ACCESSIBLE FROM REAR DOOR OF BUILDING.
  - REVERSES OF THE ABOVE CONFIGURATIONS ARE ALSO ACCEPTABLE.
  - IT IS RECOMMENDED THAT TRASH ENCLOSURE APRONS BE BLACK

Issued: \_\_\_\_\_ Date: \_\_\_\_\_

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Revisions:	Date:
1 Revised per Town Comments	02/18/22
2	
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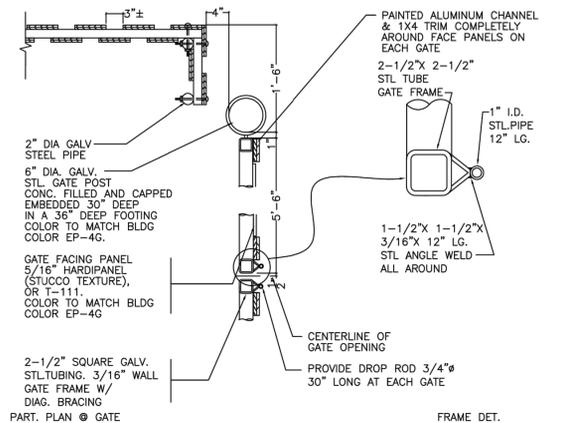
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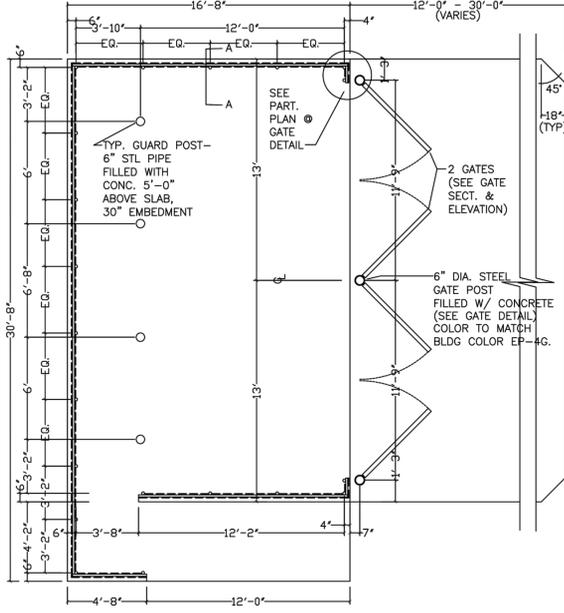
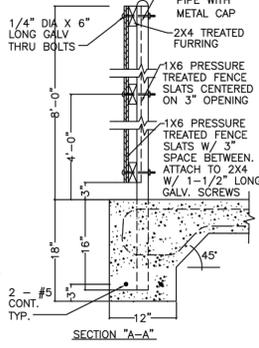


Burger King Store #:  
S.B.L. No. 143.06-1-11, 12, & 13  
1997, 2003, & 2007 Ridge Road  
West Seneca, NY 14224  
Erie County (Town of West Seneca)  
Project Name & Location:

Details Sheet  
Drawing Name:  
Date: 04/19/21 Project No. 21-0239  
Type:  
Drawn By: SAS C8  
Scale: N.T.S. Drawing No.



- NOTES:**
- 6" CONC. SLAB W/6"x6" W2.9XW2.9 W.W.F.
  - TYP. WALL FTG. 12" X 18" CONT. W/2#5 BOT. REINF.
  - 6" CONC. APRON W/#4 BARS 16" O.C. BOTH WAYS.
  - FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
  - ALL STEEL & ALUMINUM FINISHES ARE TO BE PAINTED TO MATCH BUILDING COLOR EP-4G.
  - ALL PANELS FOR GATES ARE TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALV. BOLTS AND HARDWARE.
  - PRESSURE TREATED FENCE SLATS ARE TO BE PAINTED TO MATCH BUILDING COLOR EP-4G.



**BURGER KING CORPORATION**

SCALE: [Blank]

DATE: 3/4/04

REVISED: 7/5/16

**WOOD TRASH ENCLOSURE**

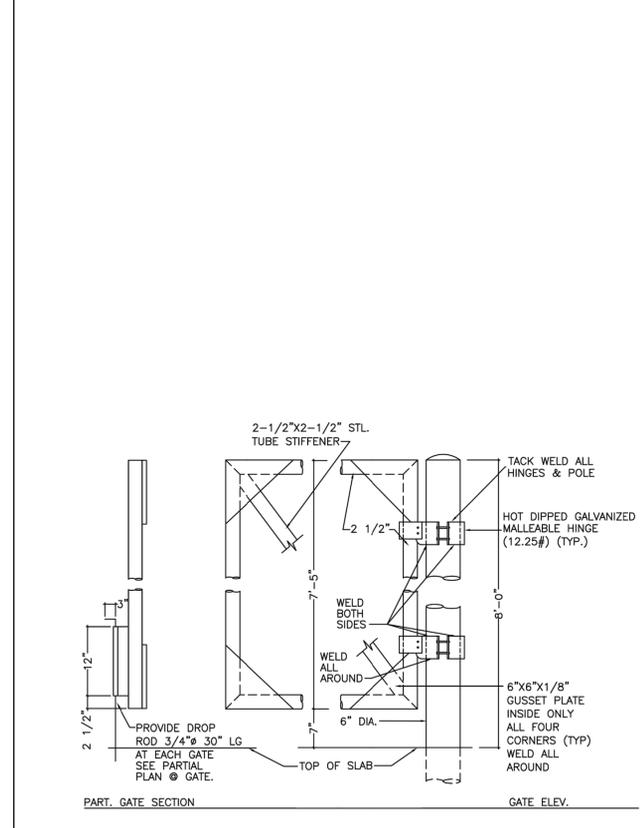
**BURGER KING CORPORATION**

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DATE: 3/4/04

REVISED: 7/5/16

**WOOD TRASH ENCLOSURE**



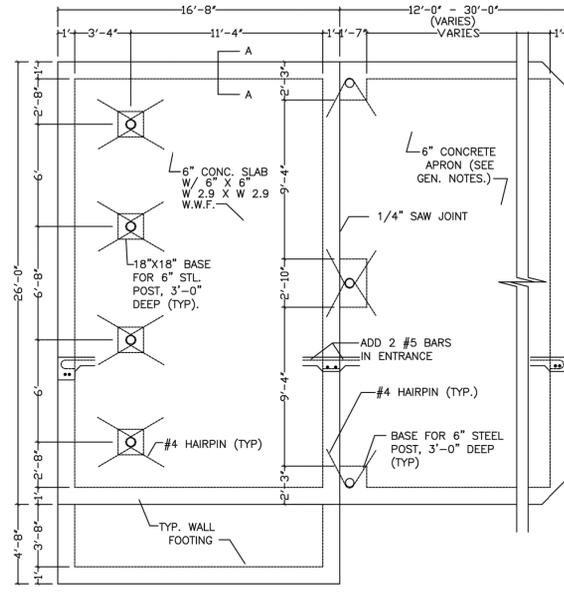
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SCALE: [Blank]

DATE: 3/4/04

REVISED: 7/5/16

**WOOD TRASH ENCLOSURE**



**WOOD TRASH ENCLOSURE**

SCALE AS SHOWN

JULY 5, 2016

13B

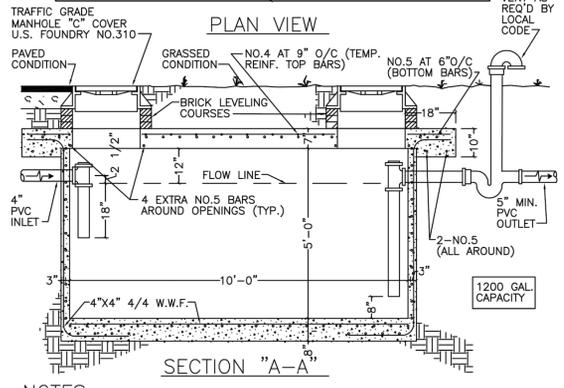
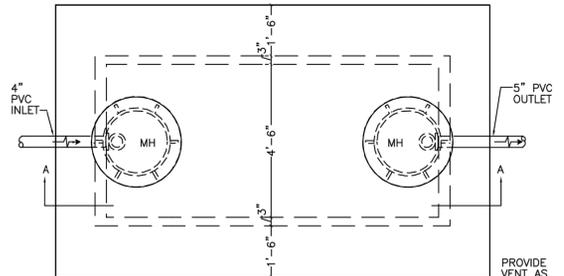
**BURGER KING CORPORATION**

SCALE: [Blank]

DATE: 3/4/04

REVISED: 7/5/16

**WOOD TRASH ENCLOSURE**



**TYPICAL GREASE INTERCEPTOR**

SCALE: NOT TO SCALE

APRIL 21, 2008

23

**BURGER KING CORPORATION**

SCALE: [Blank]

DATE: 7/15/86

REVISED: 4/21/08

**TYPICAL GREASE INTERCEPTOR**

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1 Revised per Town Comments	02/18/22
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<b>Details Sheet</b>	
Drawing Name:	Project No.
Date: 04/19/21	21-0239
Type:	C9
Drawn By: SAS	Scale: N.T.S.
Scale: N.T.S.	Drawing No.

THE SPECIFICATIONS ARE NOT PROVIDED AS AN INDICATION OF WORK, BUT PROVIDE REQUIREMENTS AND STANDARDS OF WORK REQUIRED, OR COULD BECOME REQUIRED, DUE TO UNFORESEEN CONDITIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTIONS REQUIREMENTS. WHEN THESE SPECIFICATIONS ARE IN CONFLICT WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION THE MORE STRINGENT SHALL BE REQUIRED AS DETERMINED BY THE ENGINEER AND AUTHORITY HAVING JURISDICTION.

GENERAL CONSTRUCTION CONDITIONS

- 1. The term of Owner as used in these specifications and notes shall include the owner of the property, the company or party that hired the Contractor, the company or party that signed the contract for this work, and the agents of each. The Owner's representative shall be the individual or party assigned by the Owner to be the Owner's representative. Owners of adjacent properties shall include the property owner, lessee, legal occupier, and operator of any business on that property.
- 2. All work and materials shall comply with all local, state, and federal regulations, codes, and OSHA standards and be constructed to meet or exceed those codes.
- 3. The Contractor shall be responsible for all temporary permits, connection permits, fees, inspections and record keeping required by all municipal, utility, health, environmental, state, or federal agencies that may have jurisdiction. Furthermore, the Contractor shall be responsible to meet or exceed all requirements of the agencies or authorities having jurisdiction over his work. All conflicts in requirements of different agencies, authorities, and/or the design shall be brought to the attention of the owner's representative before proceeding.
- 4. The Contractor shall be responsible to locate and maintain the property and project limits throughout the project. All conflicts between the design and the project/property limits shall be brought to the attention of the owner's representative before proceeding. Unless described in the contract documents or shown on the drawings the Owner has not secured any right of way, easements or agreements with other property owners or owners' agents. Therefore, it shall be the Contractor's responsibility to secure and maintain any temporary right of way, easements, permits, or agreements he may need to perform his work. All such agreements shall hold the Owner, Engineer of Record, and his agents harmless and the responsibility of the Contractor to bear all costs. The Contractor shall copy the Owner on releases of all agreements prior to final payment by the Owner to the Contractor. The Contractor shall not interfere with operations of adjacent businesses and work shall be completed off-hours, as necessary. Coordinate with Municipality for any restrictions on allowable working hours.
- 5. Unless otherwise noted on the drawings or in the contract documents the Contractor shall be responsible for all construction survey, layout, and record drawings for this contract. Any conflicts in survey/layout and the design or agencies requirements shall be brought to the attention of the owner's representative prior to proceeding with the work. The Contractor shall protect and safeguard all existing survey corners, monuments, control and tie-downs. The Contractor shall pay all costs to repair or replace damaged survey monuments, control and tie-downs. Record drawings shall be provided in accordance with any requirements of the authorities having jurisdiction including the required information to be provided, and signatures, seals, and certifications that may be required.
- 6. No changes to the design or materials specified may be made without written authorization by the Engineer of Record or in the case of utilities or road work to be dedicated, the authority receiving dedication. At the end of the contract, the Contractor shall provide to the Owner a record set of drawings reflecting all changes made by the Contractor during construction.
- 7. Erosion control is necessary whenever sediment, dust, erosion, or contaminated run-off may occur. The Contractor shall be responsible to place and maintain whatever erosion control or run-off protection is required to protect his work, the work of others, the project, adjacent properties and the health and well being of the workers, public and surrounding natural resources. This shall include additional measures beyond the project SMOFF and ES plan, as necessary, including but not limited to: erosion control, sediment traps, silt fences, and other erosion control.
- 8. The Contractor shall be familiar with the project site and all adjacent pedestrian, traffic, and business uses. The Contractor shall take whatever precautions and steps necessary to maintain safety and operation of these uses in accordance with federal, state, county, and local requirements. The Contractor shall be responsible for costs and damages caused from his failure to take proper and adequate precautions. The Contractor shall be familiar with all federal, state, and local requirements regarding these uses.
- 9. The Contractor shall be responsible for costs and delays associated with weather, groundwater, and other occurrences that could be expected or are common with this type of work. The Contractor shall review all pertinent documents including soils reports, soils borings, and other soil or site data.
- 10. The Contractor shall be responsible to save and protect his work throughout the contract. Any damages requiring repairs or replacement shall be corrected by the Contractor at his expense.
- 11. When work is done within a road, utility or private easement, right of way, or other property agreement, the Contractor shall do all work within that area per the authority having jurisdiction.
- 12. When separate site and building contracts are performed, the site Contractor shall be responsible to bring utilities to within 5 feet of building face unless noted otherwise on drawings or contract documents.
- 13. All utilities are shown per surface surveys and/or record maps and may vary from actual in-field locations. The Contractor is responsible for all utility stakes and locating utilities prior to commencing work. Any damage to utilities due to improper stake out, lack of stake out, or the failure to verify differences between drawings and actual field conditions will be the responsibility of the Contractor to repair, replace, or pay damages at no expense to the contract.
- 14. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The Contractor shall use support systems, shoring, bracing, and other means of protection. This includes, but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA Trench excavation requiring shoring, shoring or other shoring devices shall be designed by a Professional Engineer and meet all OSHA requirements. All excavations shall maintain safe side slopes in accordance with local, state and O.S.H.A. requirements. No stacking of material close to an open cut or steep slope will be permitted in an effort to prevent cave-ins.
- 15. The contractor shall select the means and methods for providing support and excavations in accordance with safety requirements, plans, and project specifications. The contractor must evaluate soil conditions during excavations since variations in the soil can occur across the site. The excavations should be monitored continuously for signs of deterioration such as seepage of water or sloughing of soil into the excavation. The contractor is ultimately responsible for excavation safety.
- 16. The Contractor shall notify the Owner immediately and stop all work in areas where hazardous materials are discovered. When required, the Contractor shall notify the appropriate environmental and health agencies.
- 17. The Contractor shall coordinate with the Authority having jurisdiction for all required inspections and be responsible to hire any required third party inspectors.
- 18. For any testing, inspections, and/or certifications requiring a Professional Engineer, the Contractor shall be responsible to hire a third party engineer. A copy of all tests shall be provided to the Engineer of Record.
- 19. Any discrepancies between plans, details, and specifications shall be immediately brought to the attention of the Engineer of Record.
- 20. Stabilizing fabric (woven geotextiles), if required, shall meet the following requirements "modulus (load at 10% elongation) =115lb per ASTM D1682-64," "tensile strength 200lb per ASTM D 1682-64," "tensile burst strength = 400psi per ASTM D 3786-87," "tensile tear strength when applicable = 115lb per ASTM D1117-87," "coefficient of permeability K (M/SEC) = .015 per ASTM D 4491-85," "water flow rate (GM/5" = 60 per ASTM D 4491-85". When stabilization fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations. Refer to Geotechnical Engineers report, if available, for additional information.

- 21. Filter fabric (non-woven geotextiles), if required, shall meet the following requirements "grab tensile elongation =50% per ASTM D1682-64," "Grab tensile strength 70lb per ASTM D 1682-64," "modulus (load at 10% elongation) = 200psi per ASTM D 3786-87," "tensile tear strength when applicable = 33lb per ASTM D1117-87," "coefficient of permeability K (M/SEC) = .2 per ASTM D 4491-85," "water flow rate (GM/5" = 180 per ASTM D 4491-85". When filter fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations.

DEMOLITION

- 1. The Contractor shall inspect all structures, facilities and areas slated for demolition to gain a full understanding of the work required. The Contractor shall take whatever measures necessary to protect the safety of the public, his employees and agents during the inspections and subsequent work. The Owner, Client, and Engineer of Record are not responsible for the condition of the buildings, facilities, or other areas slated for demolition.
- 2. All materials not slated for reuse must be disposed of off site in a legal manner. The Contractor may salvage any equipment or materials not designated by the Owner to be saved. All salvaged material or items shall be removed from the site immediately upon removal. No such materials shall be stored on the site. Absolutely no sales of salvaged materials will be allowed on the project site. All salvaged material must be removed, transported, and disposed of in a legal manner.
- 3. Upon approval by Owner, the Contractor shall be responsible to remove and store safely all materials slated to be saved or reused. The Contractor shall document existing conditions using photographs prior to start of work and notify Owner of any existing damage prior to construction start. The Contractor shall be responsible for all costs to repair or replace existing features to remain (including but not limited to fencing, lighting, curbing, pavement, utilities, storm structures, landscaping, etc.) that are damaged due to his work or failure to protect throughout the duration of his contract.
- 4. No burning, explosives, or other potentially dangerous methods of demolition will be allowed unless written permission is granted by the Owner and all appropriate permits are granted.
- 5. The Contractor will provide whatever safety equipment and devices are necessary to protect the adjacent properties, structures and other areas slated to remain. This will also include erosion control, dust control, and settlement.
- 6. All areas shall be brought back to their original grade or that of the surrounding area, which ever is closer to the final grades of the project for that area. All areas requiring fill shall be compacted to the requirements of the area but in no case less than 90% of modified proctor (ASTM D 1557).
- 7. All demolition within the proposed building footprint shall be coordinated with the building drawings.
- 8. Light pole removal shall include complete removal, backfill of concrete base, and capping of any conduit/wiring in to be abandoned in place.

CLEAR AND GRUB

- 1. Clearing and grubbing shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project SMOFF.
- 2. The Contractor shall review plans and identify and safely mark all plants and trees to be saved. The Contractor shall protect all plants and trees to be saved throughout the contract. This shall include prohibiting any work within the drip line of the tree, except under the supervision of a licensed Landscape Architect.
- 3. All areas to be cleared and grubbed shall be surveyed in the field to establish the appropriate limits of work.
- 4. The Contractor shall take whatever measures necessary to locate and protect existing utilities, structures, wetlands, and other facilities to remain.
- 5. All trees, shrubs, stumps, roots, and other debris shall be removed from site and disposed of in a legal manner.
- 6. No burning will be allowed on site.

PAVEMENT AND STRUCTURAL SUBBASE

- 1. The type of subbase required for each use shall be called out on the drawings. If no reference is made on the drawings or details to the type of subbase required the following shall be used:
  - 1.a. The source of the material shall be approved for use by the State Department of Transportation.
  - 1.b. The material shall be a crushed stone conforming to AASHTO M 147-65 (1980 or latest revision), grade A.
  - 1.c. Gravel or other materials can only be substituted for crushed stone when approved in writing by the Owner and Engineer of Record.
  - 1.d. Material applied for use as a subbase shall have 100% passing the 2 inch sieve, 20% to 65% passing the 3/8 inch sieve, 25% to 55% passing the No. 4 sieve, 15% to 40% passing the No. 40 sieve and 10% passing the No. 200 sieve.
- 2. Subbase shall be placed in lifts not to exceed 8 inches and compacted to the requirements stated in the soils report. If not stated, the compaction requirement shall be 98% of maximum dry density per ASTM D1557 (modified proctor).
- 3. The Contractor will be responsible for all costs in preparing the subgrade to receive subbase. This shall include fine grading and compacting as necessary to meet the requirements stated here and under Earthwork.
- 4. The amount of testing required to verify the compaction shall be the same as stated under Earthwork.
- 5. Refer to General Construction Conditions for filter fabric requirements, if applicable.

EARTHWORK

- 1. Earthwork shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project SMOFF.
- 2. Refer to Project Geotechnical Report for full project recommendations. Where Geotechnical Report is not clear or does not give requirements, the following may be used.
- 3. Prior to starting any cuts or fills the Contractor shall strip and stockpile all topsoil. Stripping of topsoil can only commence after the clear and grub operations are complete and all erosion control devices are in place in that area. Topsoil shall be stockpiled in areas designated on the plans or approved by the owner's representative. The Contractor shall review the soils reports, boring logs, and, when necessary, his own field verification so as to be familiar with the depth of topsoil. The Contractor shall take all reasonable precautions to prevent over and under mined.
- 4. Unless otherwise noted, the grades shown on the plans are finished grades. Therefore, pavement, floors, subbase, and other improvements must be subtracted to calculate subgrade elevations.
- 5. The Contractor shall maintain a survey grid of not less than 100' x 100' or other means acceptable to the Owner's representative that will indicate location and amount of cut or fills remaining. All subgrade this grid shall be 35' x 50' with location and final grade marked clearly or survey shall be completed demonstrating that the subgrade is +/- 0.1 feet of required subgrade.
- 6. Unless otherwise noted on the drawings or in the contract documents, the Contractor shall retain and pay all cost for soil compaction testing to be performed by an independent testing laboratory. For each lift placed, compaction testing shall be done every 2000 sq. ft. In trenches, compaction testing shall be done every other lift with at least 1 test every 50 LF.
- 7. Structural fill placed 2 feet or deeper below the finished subgrade elevation or finished grade of graded areas shall have a maximum particle size of 6 inches. Structural fill placed within the upper 2 feet of proposed subgrade or finished grade of graded areas shall have a maximum particle size of 3 inches.
- 8. Compaction requirements shall be those outlined in the soils report, if provided. If the soils report is not clear or does not give requirements, the following will be used:
  - 8.a. Under and to 20 feet outside the building envelope the soils shall be compacted to a minimum of 98% maximum dry density per ASTM D 1557 (modified proctor).
  - 8.b. Under proposed or future pavement areas, including 10 feet outside such areas, the soil shall be compacted to a minimum of 93% maximum dry density per ASTM D 1557 (modified proctor).
  - 8.c. All landscape and lawn areas shall be compacted to 90% maximum dry density per ASTM D 1557 (modified proctor).
  - 8.d. The testing lab shall test soils in accordance with ASTM D 2922 (nuclear method) with protocols for each soil type.
  - 8.e. Constructed berms shall be compacted to 95% maximum dry density per ASTM D1557.
- 9. All material to be fill for fill shall be free of organics, frozen material, contaminated material, debris, and any rocks larger than 4 inches. For fill placement within 1 foot of subgrade, no rock shall be greater than 2 inches in diameter. The Contractor shall bear all cost associated with drying, segregating, or required methods to test soils to meet compaction and other requirements.
- 10. All fill placed within berms that detain/retain water shall be a minimum of 20 percent by weight of material placed with the No. 200 sieve, and a maximum particle size of 8 inches. The limit of the berm areas shall include both the upstream and downstream slopes. Any on-site cut areas could be utilized as fill material for the berm, as long as all construction requirements and specifications were met (placement, compaction, gradation, permeability, etc.). Inclusion of vegetation, organic material, or frozen soil in the embankment, as well as placing of embankment material on a frozen surface is prohibited. Bedding material for all pipes and conduits within berm area shall be placed in layers not thicker than 4 inches before compaction with particle size limited to 3 inches in the greatest dimension, and compacted to required density of fill material for berm. Anti-seep collars are required for all pipes/utilities within the berm area.
- 11. The Contractor shall take all necessary precautions to protect overhead operations from weather and ground water including keeping positive drainage, divert drainage, and sealing disturbed areas with a steel drum roller prior to permanent wetting.
- 12. If imported material is required, the source and a random composite sample shall be reviewed by the testing laboratory prior to being brought to site. The testing laboratory shall test for percent passing the 200 sieve that does not exceed the existing on site material or in no case greater than 10% They shall also verify consistency with existing on site materials and all other requirements. Waters to these requirements can only be given jointly by Engineer of Record and the Geotechnical Engineer that prepared the soils report.
- 13. The testing lab may restrict some on site materials from being used as fill in building or pavement areas when it is his opinion that the material will not meet requirements stated here. If such conditions do exist and other material is not available on site, the owner's representative must authorize in writing the use of import material unless there will be no additional cost to the contract.
- 14. Fills shall be placed in lifts not to exceed 8 inches in mass fills and 6 inches in trench or restricted areas. All subgrades shall be thoroughly profiled using a smooth drum roller with a minimum static mass drum weight of 20 tons, operated in static mode. A minimum of 2 overlapping passes in one direction, followed by 2 overlapping passes in a direction perpendicular to the first 2 passes. Areas which are unsuitable and which cannot be excavated within repeated corrective effort shall be reconstructed to a suitable subgrade. The undercut shall be of adequate depth such that, after backfilling to complete the resulting subgrade surface is firm and stable under profiling. On-site structural fill may be used to obtain proposed subgrade elevation to replace the removed unsuitable material. If imported structural fill, base, or subbase course materials are used to backfill the undercuts within the building or pavement areas, a woven geotextile shall be placed at the bottom of the undercut area prior to placement of the fill.
- 15. Contractor is to remove any debris or artificial organic soils (ie. topsoil, organic subsoil, reworked soil) which may be encountered within the proposed building footprint, floor slabs, and pavement areas prior to the placement of any fill.
- 16. All fill subgrade under proposed pavement, building, or other structure shall be proof rolled as described above for the identifying of soft areas. Areas found to be unacceptable shall be scarified, drilled, and re- compacted. Retest by proof roll as necessary.
- 17. All fill material to be in place and compacted prior to installation of proposed utilities. Refer to pipe bedding details for trench dimensions. Additional will only be allowed when compaction equipment, limitations require and only after approval of the Engineer of Record. No more trench shall be open in any one lift than can be properly bedded, covered, and protected. When backfilling around pipes, provide uniform support at invert and proper compaction under, along and over the pipe. Care shall be given while backfilling around pipes to prevent damage to the pipes including placing backfill/bedding by hand, using hand operated plate ramps or jumping jacks, and other local restrictive techniques until lifts are a minimum of 2 feet or manufacturer's recommended depth, which ever is greater, above the top of the pipe. Compaction requirements are not relaxed in these areas and will remain as stated on the drawings or above. If clean stone is used as a bedding or encasement, filter fabric shall be placed between the natural soils and backfill and the stone to prevent migration of fines. Anti-seep collars shall be provided in accordance with the details. The Contractor is cautioned against the migration of fines from soils adjacent to voids. Where such conditions exist the Contractor shall install or wrap those areas with filter fabric to prevent fines from migrating into voids.
- 18. If rock is encountered that was not indicated on the plans or soils report, the area for removal should be measured and reviewed with the owner's representative prior to rock removal. Rock will be defined as the natural earth materials that can not be removed with conventional earth working equipment.
- 19. Where rock is adjacent to a structure or utility, the rock shall be removed to a minimum of 6 inches below and 1 times the diameter, but not less than 1 foot or greater than 3 feet on any side.
- 20. No explosives will be allowed until all permits are granted and the Owner has signed off. Pre and post blast reports must be kept and recorded. All structures within the area of the blast must receive a pre-blast survey. All blasting must be performed by a licensed blaster.
- 21. Unless otherwise noted on the drawings, the Contractor shall remove all excess topsoil, cut material, or waste material from site and dispose of in a legal manner.

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS

- 1. Pavement markings shall be the type, color, size, and locations shown on the plans. Contractor shall provide two (2) coats of paint for all pavement markings. If the information on the plans and details is not complete and the authority having jurisdiction does not have all requirements regarding this, use the following:
  - 1.a. Paint shall be supplied in accordance with AASHTO: M 248 latest addition. Colors shall be as follows:
    - 1.a.1. BLUE - parking stalls, parking islands, and fire lanes
    - 1.a.2. WHITE - stop bars and lettering pedestrian crossings, handicap parking symbol and characters, and traffic control lettering and characters
    - 1.a.3. BLUE - background of handicap parking symbol
- 2. The pavement shall be clean and free of dirt, dust, moisture, oils, and other foreign materials. Any old pavement markings shall be removed unless points are compatible and overlay identically. The surface of the pavement prior to application shall be 45 degrees F and rising unless manufacturer's recommendations are greater. All painting shall be applied in appropriate weather conditions (eg. temperature, wind, precipitation) and in accordance with manufacturer's recommendations.
- 3. The signage and pavement markings shall be the type and at the general location shown on the drawings. The signage and pavement markings shall be provided and located in accordance with the Local Highway, County Highway, and State Department of Transportation. If local, county or state codes do not exist MUTCD.
- 4. Posts, brackets, and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50, and hot dip galvanized in accordance with ASTM A123. All cutting, drilling, or other post modifications shall be painted with galvanizing paint. All bolts, nuts, and washers shall be stainless steel.
- 5. Post holes in pavement shall be a minimum of four feet deep and 12 inches in diameter unless poor soils or frost conditions require greater depth. Sign posts shall be kept plumb, 6 inches off bottom and centered as 4000 psi concrete is placed around the post. The overall sign and post system should be able to withstand 33 pounds per square foot.
- 6. Contractor can place signs on posts after concrete has cured for seven days or 3/4 strength is achieved.
- 7. All handpout striping and signage, including signs, crosswalk, accessible path, and curb ramps, shall meet Americans with Disabilities Act (ADA) requirements. Fine line striping and signage shall meet the requirements of the local building inspector and fire department.

SITE CONCRETE - INCLUDING CURB, SIDEWALKS AND GUTTERS

- 1. The dimensions shall be those shown on the drawings. The concrete mix shall be 4000 psi at 28 days made with type I or type II cement per ASTM C 150 and aggregates meeting State Department of Transportation requirements, unless otherwise noted. Slump for slip forming shall be 1 inch +/- 1/2 inch and for formed concrete the slump shall be 3 inch +/- 1 inch. Air entraining mixture shall meet the requirements of ASTM C 260 4% +/- 1.2% for slip form work and 6% +/- 1.12% for formed and placed concrete. Water reducing agent shall conform to ASTM C 494, type A. Curing compounds shall conform with ASTM C309, type I, class A moisture loss not more than .055 g/sq on when applied to 200 sq ft per gallon.
- 2. Sidewalks, gutters and curbs shall be placed on compacted subbase consistent with the pavement subbase as shown on the drawings. When subbase details are missing and no agency has jurisdiction use the following: sidewalks and gutters shall be placed on a minimum of 6 inches of compacted subbase and curbs shall be placed on a minimum of 4 inches of compacted subbase.
- 3. All forming, placement, materials and curing shall conform to the latest addition of AQ 318 "Building code requirements for reinforced concrete" and all similar State Department of Transportation requirements.
- 4. Reinforcing shall be in accordance with that specified on the drawings and the Concrete Reinforcing Steel Institute (CRS) "Manual of standard practices". Reinforcing steel shall be ASTM A 615, grade 60, deformed. Welded wire fabric shall be ASTM A 185, welded wire steel fabric.
- 5. Sidewalks, and gutters shall have a broom finish perpendicular to flow with a picture frame edge joint all the way around. Curbs shall have a smooth finish or light rub finish but consistent throughout the project.
- 6. Expansion joints shall be placed as per details and at adjoining structures such as walls, manholes and walls. Expansion joint material shall be preformed, 1/2 inch material with 23/64 inch cap in accordance with ASTM D1751. After concrete has set the cap should be removed and void filled with waterproof joint filler. Curb and gutter shall be cut or tied jointed to 1/3 the depth every 10 feet. Sidewalks should have tumbled or cut joints to 1/3 the depth in squares or as close to square as possible not exceeding 8ft x8ft.

WATER SYSTEMS AND SERVICES

- 1. The water systems and services shall be applied and placed in accordance with all local, state and federal requirements. When the requirements of the authority having jurisdiction differ from those shown on this plan, Contractor shall adhere to the more stringent standards.
- 2. Refer to Pipe Bedding Detail for pipe bedding requirements.
- 3. All water piping, fittings and appurtenances shall be placed a minimum of 6 inches below frostline or with a minimum 5 feet cover, whichever is greater. Pipe sizes 4 inches and up shall be ductile iron or polyvinyl chloride as indicated on the drawings (if not shown use ductile iron). Pipe sizes below 4 inches shall be copper or polyethylene as indicated on the drawings (if not shown use copper).
- 4. The minimum separation between water services and sewer lines shall be 18 inches measured vertically from outside to outside of pipe at the crossing. A standard length of water pipe shall be centered at the crossing to maximize the distance between the crossing and the nearest water service pipe joint. The sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance meeting requirements of AISC A20.10 or ANSI 2.11 (AWWA C-151) (Class 50). Contractor shall adjust elevation of water as needed to maintain adequate separation and burial depth. When the water service runs under the sewer line, a ground or crushed stone bedding meeting the requirements of subbase shall be placed and compacted around of water pipe up half the diameter of the sewer pipe to provide adequate support to the sewer line. Ductile iron pipe shall be provided in accordance with AWWA C151, (6 inch diameter and greater shall be Class 50 and 6 inches and smaller shall be Class 5). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Gaskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Standard ductile iron or cast iron fittings shall be supplied in accordance with AWWA C110 with a pressure rating of 250 psi. The lining and gaskets for the fittings shall meet the same requirements as the pipes if recommended in the soils report, ductile iron pipes shall be encased in polyethylene in accordance with AWWA C155 and for cast all fitting bolts whenever seals are primarily dry or not full backed.
- 5. All pipes shall be installed per manufacturer's recommendations. Ten gauge copper tracer wire shall be placed with all plastic pipe. Pipe material shall be as follows:
  - 5.a. PVC (Polyvinyl Chloride) pipe shall be furnished in accordance with AWWA C300 for pipe 4 inches or greater and ASTM D 1785, schedule 40, gaskets per ASTM F 477- elastomeric seal, solvent cement per ASTM D 2564 for pipe 4 inches or greater.
  - 5.b. PE (Polyethylene) pipe shall be furnished in accordance with AWWA C301 and ASTM D2737. Ten gauge copper tracer wire will be placed with all plastic pipes.
  - 5.c. DIP (Ductile Iron pipe) shall be provided and installed in accordance with AWWA C151 and C900 (6 inches and greater shall be Class 50, smaller than 6 inches shall be Class 5). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Gaskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Standard ductile iron or cast iron fittings shall be supplied in accordance with AWWA C110 with a pressure rating of 250 psi. The lining and gaskets for the fittings shall meet the same requirements as the pipes if recommended in the soils report, ductile iron pipes shall be encased in polyethylene in accordance with AWWA C155 and for cast all fitting bolts whenever seals are primarily dry or not full backed.
  - 5.d. Copper water pipe shall be supplied in accordance with ASTM B 88- type K, seamless with fittings per AWWA C800.
- 6. Gate Valves shall be non-rising stem, double disc, bronze disc Resilient seated, cast iron or ductile iron body and banded in accordance with AWWA C509 and pressure rated for 250 psi. Ten gauge copper tracer wire, shall be placed with all pipes.
- 7. Valve box shall be cast iron with a base compatible with valve, 5 inches in diameter, screw type extension at top and a cover that reads "WATER".
- 8. All tap and/or connection material and work shall be done in accordance with and coordinated with the local Water Authority and Health Department. When the Authority so requires, the taps and/or connections shall be done by the Authority themselves and paid for by the Contractor.
- 9. Thrust restraints shall be used at all fittings, plugs and appurtenances that cause a change in direction, flow or are subject to thrust or hammering by water flow. Thrust restraints will include concrete thrust blocks (3000 psi), anchoring joints and tie rods. Concrete thrust blocks shall be used unless spacers, access or maintenance restricts prohibit their use.
- 10. Curb stops shall have a bronze body, ground key plug or ball with valve behind. The curb stop shall be compatible with adjoining pipes. The service box shall have a telescoping top section with a length that will place the adjustment centered when buried to the appropriate depth. The service box shall be of a size and type that is compatible with the curb stop. The cover shall have the lettering "WATER".
- 11. All meters, valves and backflow shall meet the requirements of the health department and other agencies having jurisdiction.
- 12. Fire hydrants shall conform to the requirements of the local water authority, fire department and AWWA C502. Drain stone shall have 100% passing the 1 1/2 inch sieve, 80 - 100% passing the 1 inch sieve, 35 - 60% passing the 3/4 inch sieve and 0 - 15% passing the 3/8 inch sieve. All hydrants will include a gate valve and be located at the hydrant branch to shut off the hydrant line.
- 13. All bedding and encasement shall be compacted with care to achieve proper compaction without damaging the pipe, fittings, or appurtenances.
- 14. If clean stone is required by the local authority having jurisdiction and is approved by Owner and/or Engineer of Record, then the bedding material shall be wrapped in filter fabric and anti-seep collars shall be provided to prevent the migration of fines.
- 15. All water main fittings and valves shall be tested for pressure and leakage in accordance with AWWA C900. Test water shall be potable. Test pressures shall not be less than 1.25 times the working pressure of the highest point and 1.5 times the working pressure of the testing point. The pressure may not drop more than 5 psi during the 2 hour test. Leakage will not exceed more than (L=SDP/D) (.133/200) where "L" = allowable leakage in gallons per hour. "S"= length of pipe tested, in feet. "D" = nominal diameter of pipe, in inches. The average test pressure during test, in pounds per square inch (gauge) during the same 2 hour duration.
- 16. Other fitting and appurtenances not part of the main line testing shall be tested by visual inspection, for leakage under normal working pressures.
- 17. All main lines and appropriate appurtenances shall be flushed and disinfected in accordance with AWWA C551 and the requirements of the appropriate health department.
- 18. The Contractor will coordinate all testing and disinfecting with the water authority and health department.
- 19. Any testing failure shall require the Contractor to repair or replace the failed section at no additional expense to the contract.

STORM WATER SYSTEM

- 1. The storm water system shall be supplied and placed in accordance with all local, state and federal requirements.
- 2. Storm design includes many variables, such as pipe roughness coefficient, that can affect the actual final run-off. If no alternative materials are listed on the utility drawings, no substitutions may be made by the Contractor unless first reviewed and accepted by the Engineer of Record.
- 3. Refer to Pipe Bedding Detail for pipe bedding and anti-seep collar requirements.
- 4. Storm pipe material shall be as follows:
  - 4.a. 12 inches and up shall be corrugated polyethylene pipe (PE) with smooth interior, in accordance with AASHTO M252 & M294 and ASTM F405 & F667, with a Manning friction number (n) of 0.013 or less, install in accordance with ASTM F449 and the manufacturer's recommendations.
  - 4.b. Smaller than 12 inches shall be CP, as per requirements above, or Polyvinyl Chloride (PVC) per ASTM D 3034, SDR 35 with gaskets per ASTM D 3212, elastomeric seal.
- 5. End sections shall be the same material as the preceding pipe and appropriate collar.
- 6. Increase size of manhole if in the same horizontal plane there is two areas where the distance between two pipes is less than 8 inches or 1/2 of the circumference is supported by less than 1/2 of the diameter of the manhole. Inverts shall be smooth cast in place concrete. Gaskets between risers shall be rubber per ASTM C 443. Adjustment rings shall be precast concrete 4000 psi and 5 to 8% air entrainment.
- 7. Inlets shall meet the same requirements as those listed for manholes, except sumps shall be provided as per details, other than a smooth top.
- 8. Grates shall be galvanized per ASTM A123. Minimum grate opening size will be 24 inches x 24 inches and design for a minimum of 200 loading. Refer to details for additional information.
- 9. Dry wells shall meet the same requirements as those listed for manholes with the addition of openings of approximately 15% of the rings interior surface. The openings shall be 1 x 3 inch slots or 1 inch diameter on the inside surface. Dry wells shall be backfilled with a minimum of 1 foot of clean stone sized between 3 and 4 inches. Outside the stone, the entire structure shall be wrapped in filter fabric to prevent outside soils from entering the stone and dry well.
- 10. Unless otherwise noted, underdrains and trench drains shall be made with 4 inch perforated corrugated polyethylene pipe encased in clean stone sized between 2 inch and 1/2 inch and then wrapped in filter fabric. Outside dimensions of the trench drain will not be less than 1 foot.
- 11. All storm pipe entering structures shall be grouted to ensure connection at structure is watertight and structurally sound. All storm sewer pipes entering and exiting structures shall be flush with the inside of the structure wall.
- 12. All pipe shall be placed in accordance with the manufacturer's recommendation and to the lines and grades shown on the drawings. Care shall be given during backfill operations not to move or damage pipe or appurtenances while achieving the appropriate compaction requirements.
- 13. All systems shall be visually inspected for alignment and workmanship. All debris, dirt or other foreign objects shall be removed from system by a method that flushing and material removed shall be disposed of properly.
- 14. Any pipes found with deflector deflections greater than 5% of the specified pipe diameter will be repaired or replaced. Any alignment differentials greater than 5% of the diameter of the pipe will be corrected or replaced.
- 15. Any cleaning, repairs, or replacement required due to failure of testing or poor workmanship shall be done by the Contractor at no additional expense to the contract.

ASPHALT PAVEMENT

- 1. Asphalt shall be the type or types specified on the drawings. If no type is indicated the Contractor shall use a mix specified by the State Department of Transportation for use and binder for New York State that would be type Asphalt Concrete Binder Course Type 19 and Asphalt Concrete Surface Course Type 12.5. All asphalt shall be produced in state approved plants with state approved products.
- 2. Asphalt will only be placed when the outside temperature is 45 degrees F and rising. Asphalt will never be placed on frozen material, during medium or heavy precipitation or when preceding precipitation has saturated the subbase and/or subgrade.
- 3. Surfaces that will abut the new asphalt shall be tack coated prior placement of asphalt including curbs, gutters, existing sidewalks, and structures. Tack coat shall be applied evenly to a wetting surface during construction, or after a prolonged time period between binder and top placement, the surface must be power washed, not just swept, and a tack coat should be applied prior to installation of top course. In addition, any yielding area of pavement binder should be removed and replaced prior to application of the top course.
- 4. Asphalt shall be placed in layers equal to those specified on the plans. Thickness of each layer or the thickness of all layers combined shall not vary more than 1/4 inch for thickness of 0 to 4 inches and 1/2 inch for thickness of 4 inches or greater, from those specified on the drawings. The asphalt shall also be tested for smoothness by laying a 16 foot straight edge on the pavement and verifying that there are no gaps greater than 1/4" in any direction.
- 5. Placement and compaction requirements shall be the same as those specified by the State Department of Transportation which the project is located. The rolling shall be done in such a manner that will match joints and leave a smooth uniform surface while providing the proper compaction which will be 95% of laboratory density.
- 6. When matching into existing pavement, all match joints shall be saw cut to provide a straight smooth joint. The asphalt depth at the match point shall be equal to that of the proposed or existing which ever is greater.
- 7. Paving equipment shall be of good condition and quality. Asphalt shall be placed by mechanical equipment except in small areas that are inaccessible to a paver. The binder joints and the top joints shall be offset. The top course shall be placed parallel to the direction of travel. Asphalt shall be transported in covered trucks and scheduled in such a manner that will maintain asphalt temperature. Asphalt shall be rejected when temperatures fall below 250 degrees F or the minimum temperatures specified by the State Department of Transportation.
- 8. All sub-base, asphalt, curb or other work performed in a State, County or Municipal right-of-way shall be finished, installed, inspected and completed in accordance with their specifications, details and other requirements.

SEEDING AND LANDSCAPING

- 1. Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in low areas and a minimum of 12 inches in landscape planting areas. If enough topsoil is not available onsite, the Contractor is required to import as necessary. All disturbed low areas are to receive topsoil, seed, mulching, and water until a healthy stand of grass is established.
- 2. Topsoil shall consist of fertile, natural agricultural soil substantially free of subsoil, stumps, brush, stone, clay lumps, or similar objects larger than 2 inches in the greatest diameter. Topsoil for reuse shall be screened if required to remove stones and debris removed. Topsoil shall be approved by the Owner at his source prior to transporting. The topsoil shall be fine graded to the lines and grades shown on the plans. The Contractor is responsible for keeping topsoil, seed, fertilizer, etc. off structures, pavements, and other site amenities, and will clean up unwanted deposits, at his expense.
- 3. Mow all areas to be cleared & seeded to 6" minimum maximum prior to beginning any new lawn work.
- 4. Lawn and till subgrade of lawn areas to a minimum depth of four inches, remove stones measuring 1.5 inches in any dimension, remove sticks, soil, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
- 5. Preparation of unchanged grades: where lawns are to be planted in areas that have not been altered of disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: till to a depth of six inches, apply soil amendments and initial fertilizers as specified, till soil to a homogeneous mixture and fine texture and complete fine grading.
- 6. Clean all new lawn areas to be seeded of all debris, branches, stumps, brush, logs, mats, sticks, stones, etc. larger than two inches in diameter.
- 7. Roll, rake, and/or drag lawn areas to remove ridges and fill depressions to meet, finish grades and to create a smooth, mowable lawn surface.
- 8. Use natural diatomitic limestone containing at least 65% of total carbonates, and 33% magnesium carbonates, ground so that at least 90% passes a ten mesh sieve, and at least 50% passes a 100 mesh sieve.
- 9. The topsoil shall have a pH of 6.0 to 6.8 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 1/4 inch sieve and 20 to 80% passing the No. 200 sieve.
- 10. Lawn fertilizer shall be 50% Nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureaform source. Work into soil at a rate of 100 lbs per acre before seeding.
- 11. Lawn seed shall be "50% by weight, 85% purity, 85% germination of Perennial Ryegrass", "30% by weight, 97% purity, 85% germination of Perennial Red Fescue", "20% by weight, 85% purity, 80% germination of Common Kentucky Bluegrass" at a rate of 200 lbs per acre. Much all seeded areas with approved broadcast rate of 4000 lbs per acre. Maintain mow as necessary and clean up upon satisfactory germination.
- 12. Steep slope mix (Type B unimowed - 1\1/3H or steeper) apply at a rate of 100 lbs. per acre using the following proportions by weight: 15% Oregano Ridge Fescue, 35% Oregano Oregano, 25% Kentucky 31, Tall Fescue, and 25% Empire Birdseed. Uniformly.
- 13. Hydroseeding shall be applied in accordance with the following: fertilizer shall be placed at 80 pounds per acre, hydramulch at 1200 pounds per acre, water at 500 gallons per acre, and seed at a minimum of 200 pounds per acre. Inoculate at 4: manufacturer's rate. A non-flammable color additive which colors the hydromulch mixture green shall be added to the mixture to allow visual monitoring of its application. The hydromulch mixture shall be sprayed uniformly and uniformly on the surface of the soil to form an absorbent cover, slowing penetration of water to the underlying soil.
- 14. The Contractor will be responsible to water, reseed, or any other means necessary to ensure the growth of the lawn until a complete and uniform stand of grass has grown and been cut at least three times. Water by approved means immediately after mulching and thereafter a minimum of two times each week, or more when weather conditions require to a depth of one inch soil saturation. Mow all seeded areas to two inch height until final acceptance. In the event grass becomes too long resulting in excessive clippings that could damage the lawn, the contractor shall remove clippings at his expense. Lawn shall be presented to Owner in a condition that it may be maintained with standard mowing equipment.
- 15. Where substantial lawn remains (but is thin), mow, rake, aerate (if compacted), fill low spots, remove bumps, and scarify soil, fertilizer, and seed. Remove weeds before seeding, if extensive. Apply selective chemical weed killers as required. Apply mulch if required to maintain moist condition.
- 16. Plantings shall be supplied in accordance with the plans and ANSI Z601 "American Standard for Nursery Stock" in good health, vigorous, and free of insects, larvae, eggs, defects and disease.
- 17. Plants shall be located per the plans. The holes shall be excavated per the details on the drawings with the center slightly higher to promote drainage. Use a topsoil backfill mix of 4 parts topsoil, 1 part peat moss, 1/2 part well rotted manure, 2 pounds 5-10-5 planting fertilizer properly mixed per cubic yard. Berm around plants to form a bowl shape.
- 18. Two layers of weed barrier made from fiberglass and ultraviolet light resistant shall be placed under all planting beds prior to mulching.
- 19. All trees and shrubs shall be staked as detailed on the drawings. Tree wrapping will be completed at the base of all trees as detailed.
- 20. Mids of beds with 3 inch curb graded grass, 1" to 2" size range on fiber mat weed barrier. Verify with JSC Management prior to placement. Mulch shall be 50% shredded bark and 50% wood chips, 3/4 to 2 inch in size, uniformly mixed and free of stem wood. Mulch shall be placed uniformly over the planting bed allowing no weed barrier to be seen to a minimum depth of 3". Curb to be cham by Owner.
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Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating	Tilt Angle
	3	P2	TWIN 90	1.000	22100	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ	B3-U0-G3	Tilt: 0°
	1	P2(180)	2 @ 180°	1.000	22100	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ	B3-U0-G3	Tilt: 0°
	3	R	SINGLE	1.000	N.A.	29.4	RS-30WLED-DO-DB-120	B1-U4-G0	Tilt: 0°

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	2.26	9.5	0.0	N.A.	N.A.
Paved Parking	Fc	4.53	9.5	1.2	3.78	7.92

Fixture Mounting Height: 27' AFG (25' Pole + 2.0' Base)

Pole Schedule  
(4) CL-SSP-4011-25-OT-BZ (25' x 4" x 11ga; STEEL SQUARE POLE, Tenon)

Proposed poles meet 100 MPH sustained winds.

Additional Equipment:  
(8) OSQ-B-AABZ (Adjustable Arm Mount)  
(4) PB-2A4 (Twin Head Tenon)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

### OSQ Area Luminaire

