

# APPLICATION TO BOARD OF APPEALS

Tel. No. \_\_\_\_\_

Appeal No. 2016-008

Date \_\_\_\_\_

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

X I (we) JOHN HANGLARTNER of 139 ALLENDALE Rd.

WEST SENECA, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE

DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. \_\_\_\_\_,

DATED \_\_\_\_\_, 20\_\_\_\_, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- |  |   |
|--|---|
| <input type="checkbox"/> A PERMIT FOR USE                        | <input type="checkbox"/> A CERTIFICATE OF EXISTING USE      |
| <input type="checkbox"/> A PERMIT FOR OCCUPANCY                  | <input type="checkbox"/> A CERTIFICATE OF ZONING COMPLIANCE |
| <input type="checkbox"/> A TEMPORARY PERMIT OR EXTENSION THEREOF | <input type="checkbox"/> AREA PERMIT                        |

1. Applicant is the  PROPERTY OWNER  
 CONTRACTOR FOR THE WORK CONCERNED HEREIN  
 PROSPECTIVE TENANT  
 OTHER (Describe) Property owners son

X 2. LOCATION OF THE PROPERTY 139 ALLENDALE Rd. WEST SENECA, N.Y. 14224

3. State in general the exact nature of the permission required, Erect new garage at existing garage location. 3' from side lot line required; 1.5' requested.

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_.

X 5. REASON FOR APPEAL.  
A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: \_\_\_\_\_

JUST TO REMOVE & REPLACE EXISTING STRUCTURE WITH A LARGER STRUCTURE AT SAME LOCATION TO BE SUFFICIENT WITH EXISTING DRIVEWAY

B. Interpretation of the Zoning Ordinance is requested because: \_\_\_\_\_

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article \_\_\_\_\_, Section \_\_\_\_\_, Subsection \_\_\_\_\_, Paragraph \_\_\_\_\_ of the Zoning Ordinance, because: \_\_\_\_\_  
120-39 A(3)

Signature

## TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance  
120-39 A(3) Accessory structure shall not be within 3' to any side lot line (1.5') Requested

2. Zoning Classification of the property concerned in this appeal \_\_\_\_\_

3. Type of Appeal:  
 Variance to the Zoning Ordinance.  
 Interpretation of the Zoning Ordinance or Zoning Map  
 Special or Temporary Permit or an extension thereof under the Zoning Ordinance.



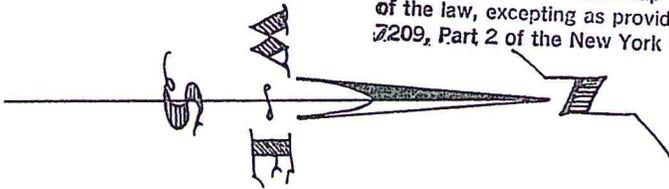
4. A statement of any other facts or data which should be considered in this appeal. \_\_\_\_\_

ORCHARD PARK RD.  
66' WIDE

ALLENDALE RD.  
1150'60" WIDE  
1295'34" WIDE  
80'96" WIDE

SUB-LOT 38  
COVER 1583  
TOWN OF WEST SENECA

Altering any item on this map is in violation of the law, excepting as provided in Section 2209, Part 2 of the New York State Education Law.



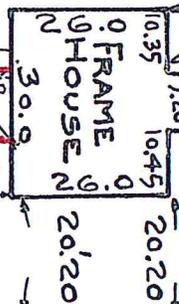
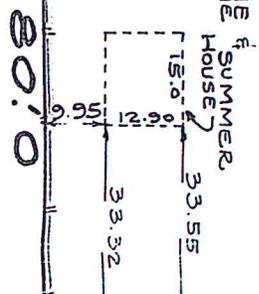
90°  
FENCE 1.57 SOUTH  
FENCE ON LINE

175.73

FENCE 0.40 EAST

50.08

No. 139



FENCE 0.06 NORTH

90°  
*(shrub man)*  
*propagated*  
*1.5.1*

188.17

THIS MAP VOID UNLESS EMBOSSED WITH NEW YORK STATE LICENSED LAND

SURVEYOR'S SEAL NO. 21346

ANDREW L. SONNENBERGER LAND SURVEYOR 66 NIAGARA STREET BUFFALO, N. Y.	DATE <u>OCT. 23, 1972</u> SCALE <u>1 IN. = 30 FT.</u> BOOK <u>LL</u> PAGE <u>276B</u>
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