

# APPLICATION TO BOARD OF APPEALS

Tel. No. \_\_\_\_\_

Appeal No. 2016-024  
Date 4.1.16

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) Eric & Sue Deitz of 108 John Alex Dr  
West Seneca, NY 14224, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE  
DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. \_\_\_\_\_,  
DATED \_\_\_\_\_, 20\_\_\_\_, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> A PERMIT FOR USE             | <input type="checkbox"/> A CERTIFICATE OF EXISTING USE      |
| <input checked="" type="checkbox"/> A PERMIT FOR OCCUPANCY       | <input type="checkbox"/> A CERTIFICATE OF ZONING COMPLIANCE |
| <input type="checkbox"/> A TEMPORARY PERMIT OR EXTENSION THEREOF | <input type="checkbox"/> AREA PERMIT                        |

1. Applicant is the  PROPERTY OWNER  
 CONTRACTOR FOR THE WORK CONCERNED HEREIN  
 PROSPECTIVE TENANT  
 OTHER (Describe) \_\_\_\_\_

2. LOCATION OF THE PROPERTY 108 John Alex Dr

3. State in general the exact nature of the permission required, Requesting 0' separation  
from house/deck/pool 10' separation required

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_.

### 5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: \_\_\_\_\_

The neighborhood retention pond is property adjacent and we would like the pool closer to the house.

B. Interpretation of the Zoning Ordinance is requested because: 10' separation requested permitted  
0' requested

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article \_\_\_\_\_, Section 120, Subsection 39, Paragraph F of the Zoning Ordinance, because: Decks, patios are not permitted to connect the principal structure to the pool

[Signature]  
signature

### TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance  
TOWS Zoning Ordinance 120-39(F) pools not connected to primary structure

2. Zoning Classification of the property concerned in this appeal R-75

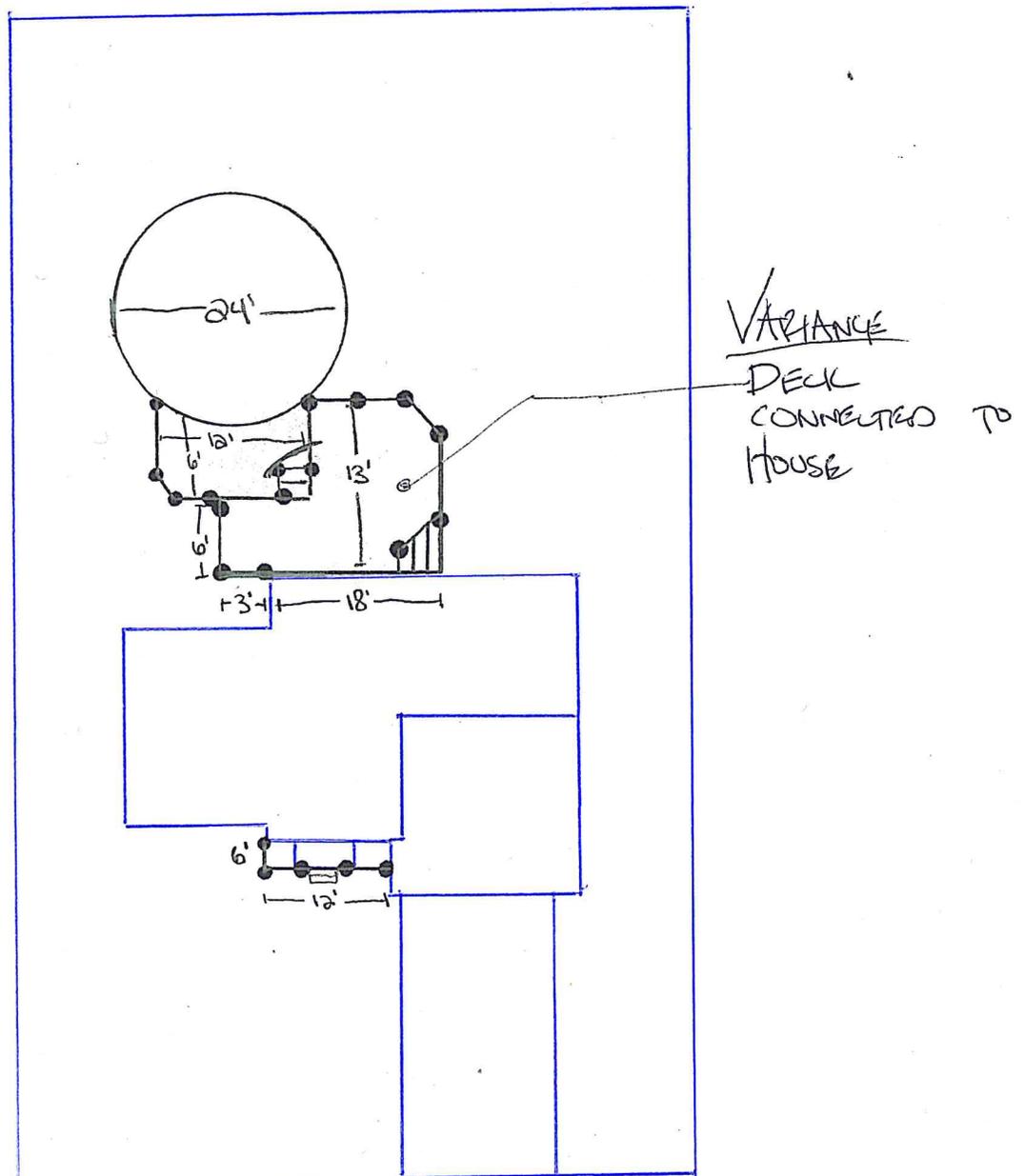
3. Type of Appeal:
- Variance to the Zoning Ordinance.
  - Interpretation of the Zoning Ordinance or Zoning Map
  - Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

4. A statement of any other facts or data which should be considered in this appeal. [Signature]

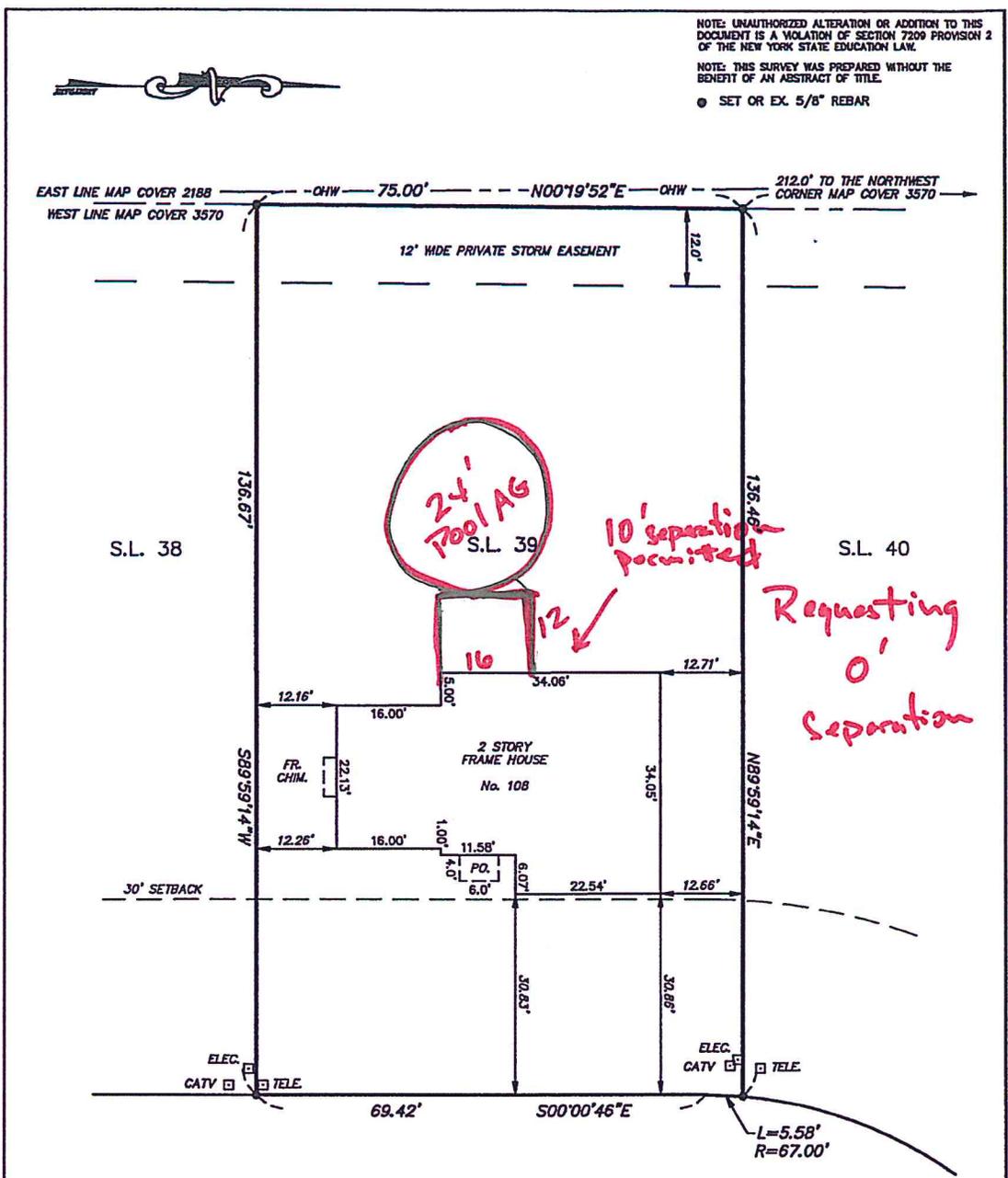
Eric and Suzanne Deitz  
108 John Alex Drive  
West Seneca, NY 14224

April 1, 2016

- Plans for a 24' above ground pool installed by The Pool Guy, meeting all of West Seneca's regulations.
- Plans for a 12' X 6' porch off the front of house, made of Eon and installed by Buscaglia Decks
- Plans for a 20' x 13' deck off the back of the house made of Eon, this deck will attach via a secured gate and steps to a 12' x 6' deck made of Eon accessing the pool, deck will be installed by Buscaglia Deck.



108 JOHN ALEX DR.



NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
 NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.  
 ● SET OR EX. 5/8" REBAR

**JOHN ALEX (60' WIDE) DRIVE**

SURVEY OF  
 SUB LOT 39, MAP COVER 3570  
 CAMELOT SQUARE PART III  
 BEING PART OF LOT 380, TOWNSHIP 10, RANGE 7  
 BUFFALO CREEK RESERVATION  
 TOWN OF WEST SENECA, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE
6/8/15	HOUSE LOCATION

GPI

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Job No. 4474-39(3) Date: FEBRUARY 20, 2015  
 Scale 1" = 20' Tax No.