

# APPLICATION TO BOARD OF APPEALS

Tel. No. \_\_\_\_\_

Appeal No. 2016-030

Date 4/6/2016

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) Amber Sears / Expedite The Deal of 6529 Hemmingford Dr  
Caval Winchester, OH 43110, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE  
DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. \_\_\_\_\_,  
DATED \_\_\_\_\_, 20\_\_\_\_, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> A PERMIT FOR USE             | <input type="checkbox"/> A CERTIFICATE OF EXISTING USE      |
| <input type="checkbox"/> A PERMIT FOR OCCUPANCY                  | <input type="checkbox"/> A CERTIFICATE OF ZONING COMPLIANCE |
| <input type="checkbox"/> A TEMPORARY PERMIT OR EXTENSION THEREOF | <input type="checkbox"/> AREA PERMIT                        |

1. Applicant is the  PROPERTY OWNER  
 CONTRACTOR FOR THE WORK CONCERNED HEREIN  
 PROSPECTIVE TENANT  
 OTHER (Describe) \_\_\_\_\_

2. LOCATION OF THE PROPERTY 1055 Union Rd West Seneca NY 14224

3. State in general the exact nature of the permission required, Ground sign 19ft high  
130 sf, 5' height allowed, 20 sf per side allowed

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_.

5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: \_\_\_\_\_

B. Interpretation of the Zoning Ordinance is requested because: A ground sign no more  
than 20 sf and is no more than 5 feet high permitted

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article  
Section 120, Subsection 40.7, Paragraph C3 of the Zoning Ordinance, because: Requesting 19ft height  
and 130 sf, 5 ft height 20 sf permitted

Signature

### TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance

TOWS Zoning Ordinance 120-40.7-C3

2. Zoning Classification of the property concerned in this appeal C-1

3. Type of Appeal:

- Variance to the Zoning Ordinance.  
 Interpretation of the Zoning Ordinance or Zoning Map  
 Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

4. A statement of any other facts or data which should be considered in this appeal. sg BR



*Properties and Facilities Department*

January 25, 2016

**RE: NEW NORTHWEST SIGNAGE**

To Whom It May Concern:

Please be advised that Northwest Savings Bank has discontinued our relationship with Bunting Graphics, Inc. As a result, they will not be providing the new signs for the bank properties in your jurisdiction.

I apologize for any inconvenience this has caused. Going forward, Architectural Graphics, Inc. (AGI), will represent and provide the signage for Northwest Bank. It is our wish that any existing sign permits or pending permit applications be transferred or assigned to AGI.

Please feel free to contact Elizabeth Beardsley, Northwest Project Manager, at 814-728-7092 if you have any questions in this regard.

Sincerely,

A handwritten signature in black ink, appearing to read 'S. M. Bell', with a horizontal line extending to the right.

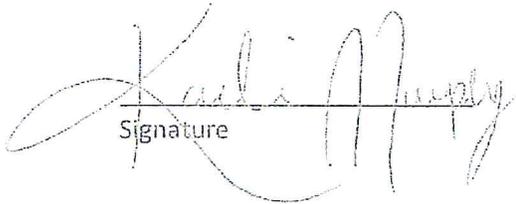
Stephen M. Bell  
Vice President Properties and Facilities



RE: Northwest Bank

To Whom It May Concern:

Please accept this letter as our authorization hereby granted to Expedite the Diehl to act as our agent in the matter of submitting applications for all necessary sign permits and/or a variance from the sign By-law, if and when required, to cover the proposed new exterior signage at all Northwest Bank properties.

  
Signature

  
Date

# Inventory & Recommendation Detail

E01

INVENTORY



Notes:

Pole Diameter - 8"

Sign Copy			
NORTHWEST SAVINGS BANK			
Existing Sign Type			
PS-Pylon Sign			
Height	Width	Depth	
99"	105"	24"	
Letter Height	OAH Above Grade		
N/A	223"		
Sign Material	Mount		
AL-Aluminum	SP-Single Pole		
Face Type	Face Material		
PNE-Panned-Embossed	PX-Plex		
Retainer Type	Retainer Size		
LR-L 90 Retainer	2" with 2" H-Bar		
V.O. Height	V.O. Width		
51 1/2"	101"		
Surface Color	Surface Material		
N/A	N/A		
Available Height	Available Width		
N/A	N/A		
Double Face	Illuminated		
Yes	Y-Internal		

RECOMMENDATION



Recommendation Comments:

Request variance WP2  
Option 2: cabinet rehab ROPT

Recommended Action	
RR-Remove and Replace	
Recommended Sign Type	
PS-Pylon Sign	
Sign Type Description	
WP2	Move closer to sidewalk
Signage Copy	
Northwest	
Wall Repair Action	
Remove existing sign and foundation materials. Restore surrounding ground cover and/or surface materials to poles of new sign. Remove, dispose and/or cap off to code all electrical components/hardware previously connected to existing signage. Re-use existing primary electrical supply.	

For signs and fascia having an overall height greater than 20 feet, measurements are estimates only.

Survey ID: 339

Site Address:

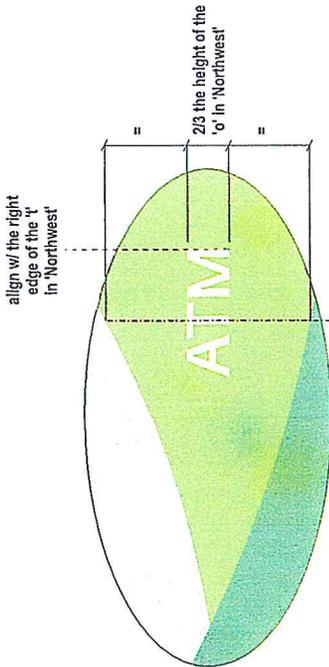
West Seneca,  
1055 Union Rd  
West Seneca, NY 14224

Date: 03-20-2015

# ATM

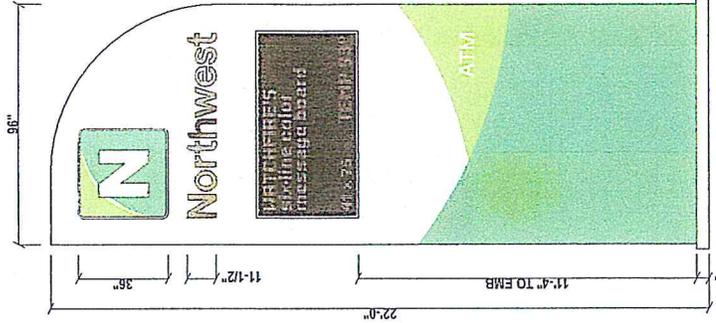
Fedra Sans Std, Medium

Prototype is currently in production.



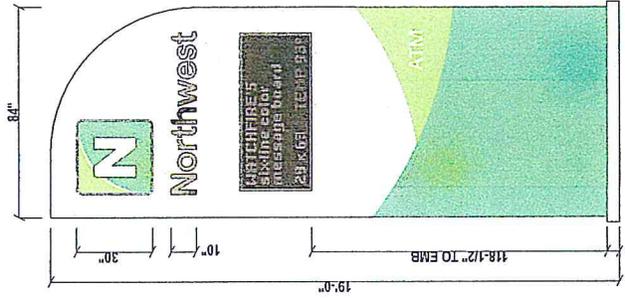
TYPICAL 'ATM' VINYL DETAIL - PYLON

Scale: NTS



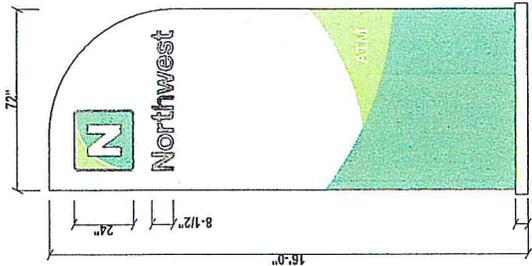
WP3 - 22' WING PYLON

Scale: 1/4"=1'-0"



WP2 - 19' WING PYLON

Scale: 1/4"=1'-0"



WP1 - 16' WING PYLON

Scale: 1/4"=1'-0"

Project Name		ECO Description	
01-03-13	NORTHWEST BANKS	11 S Change 07-17-14	1) update per customer request (add initials in review)
AS NOTED	PYLON CONCEPTS	12 S Change 08-22-14	1) update & additions per customer request
S CAMPEAU	Customer Description (if applicable):	13 S Change 09-02-14	1) update & additions per customer request
	Client Approval:	14 S Change 09-10-14	1) update & additions per customer request
	Date:	5 S Change 01-26-14	1) update per customer request (see date-specific notes)
		8 S Change 01-21-14	1) update per customer request (see date-specific notes)

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ENGINEERING DWG. 2 of 17

Product Number: **NWBK-CNPT-00003**

File Location: W:\Northwest Savings Bank\Engineering\ 0000

**COAST SIGN**  
INCORPORATED  
1300 W. 5th Avenue, Suite 2002  
(714) 524-7141 Fax: (714) 524-3447

# Northwest Savings Bank Program



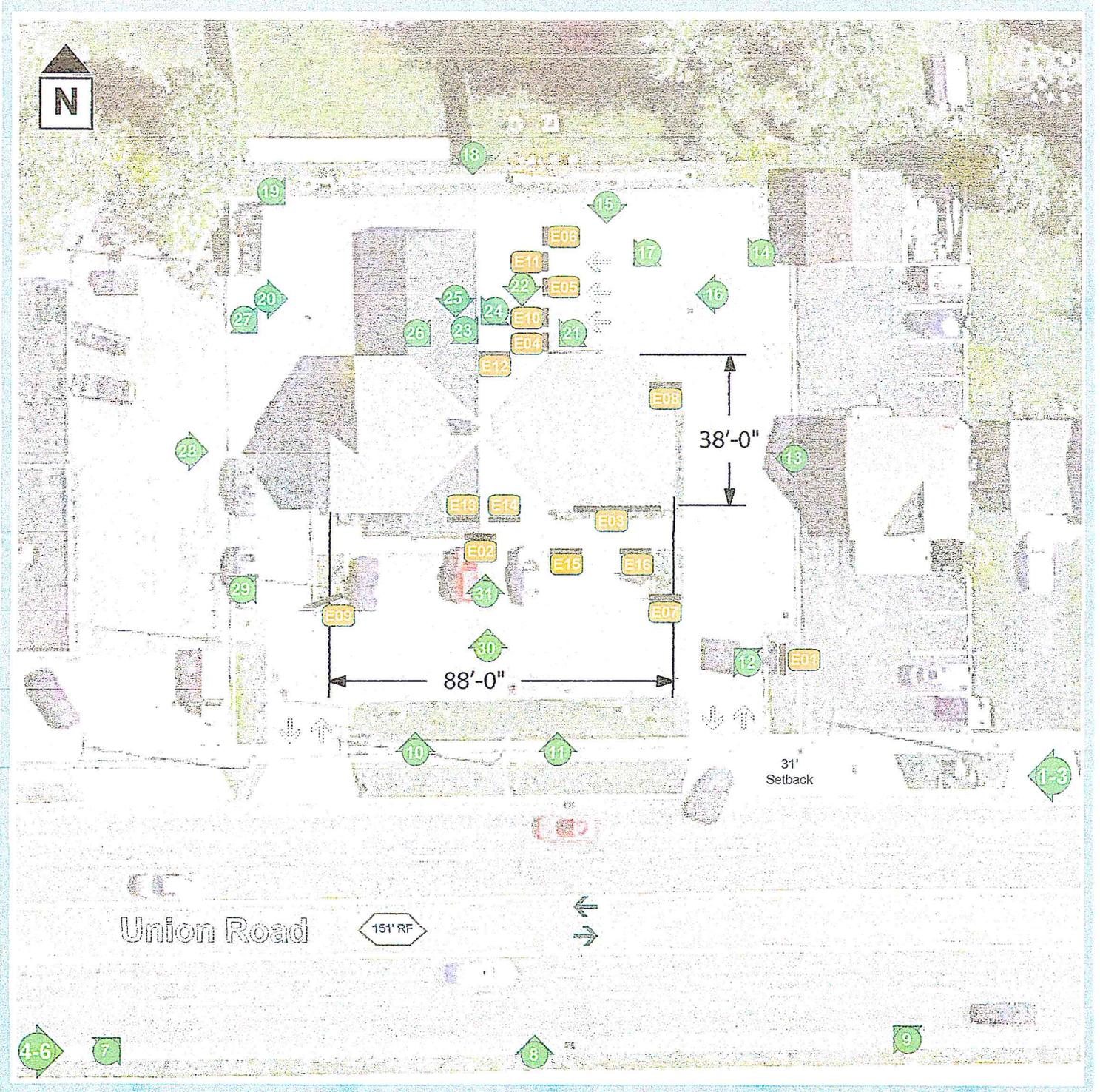
Survey ID: 339

Site Address:

Date: 03-20-2015

West Seneca,  
1055 Union Rd  
West Seneca, NY 14224

# Site Plan



Survey ID: 339

Site Address:

West Seneca,  
1055 Union Rd  
West Seneca, NY 14224

Date: 03-20-2015